

UPLAND CROSSING

SPECIFIC PLAN

RECORD COPY

PREPARED FOR:

THE CITY OF UPLAND
COMMUNITY DEVELOPMENT DEPARTMENT
460 NORTH EUCLID AVENUE
UPLAND, CA 91786

DRAFT: JULY 10, 2006

SPR-12

UPLAND CROSSING

SPECIFIC PLAN

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□ TABLE OF CONTENTS

SECTION I – INTRODUCTION	I-1
A. EXECUTIVE SUMMARY	I-1
1. Purpose	I-1
2. Specific Plan Authority and Content	I-1
3. Project Summary	I-2
4. Project Goals	I-2
B. SETTING	I-3
1. Site Location	I-3
2. Site Conditions	I-3
3. Surrounding Land Uses and Development	I-7
C. LAND USE ENTITLEMENT	I-7
1. General Plan Designation	I-7
2. Zoning	I-7
3. Discretionary Actions and Approvals	I-11
SECTION II – SPECIFIC PLAN PROGRAM ELEMENTS	II-1
A. OVERVIEW	II-1
B. PLANNING AREAS	II-5
1. Commercial-Retail with Residential Overlay – Planning Area 1	II-5
2. Attached Residential – Planning Area 2	II-5
3. Detached Residential – Planning Area 3	II-5
4. Channel Trail - Planning Area 4	II-5

UPLAND CROSSING SPECIFIC PLAN

TABLE OF CONTENTS

C. CIRCULATION PLAN	II-6
1. Vehicular Circulation and Access.....	II-6
2. Pedestrian Circulation and Access.....	II-9
D. GRADING PLAN.....	II-9
E. PUBLIC FACILITIES AND SERVICES.....	II-9
1. Water Plan	II-9
2. Sewer Plan.....	II-15
3. Drainage Plan.....	II-15
4. Public Services.....	II-15
SECTION III – DEVELOPMENT STANDARDS.....	III-1
A. PURPOSE AND INTENT	III-1
B. GENERAL PROVISIONS	III-1
C. COMMERCIAL-RETAIL.....	III-1
D. RESIDENTIAL.....	III-3
1. Attached Residential (20.0 DU/AC).....	III-3
2. Detached Residential (12.4 DU/AC)	III-3
SECTION IV – DESIGN GUIDELINES	IV-1
A. PURPOSE AND INTENT	IV-1

UPLAND CROSSING SPECIFIC PLAN

TABLE OF CONTENTS

B. DESIGN THEME	IV-2
C. ARCHITECTURAL DESIGN GUIDELINES.....	IV-2
1. Commercial-Retail with Residential Overlay – Planning Area 1	IV-2
2. Attached Residential – Planning Area 2	IV-7
3. Detached Residential - Planning Area 3	IV-22
D. LANDSCAPE DESIGN GUIDELINES	IV-42
1. Introduction	IV-42
2. Streetscapes	IV-42
3. Entry Monumentation.....	IV-45
4. Recreation and Open Space.....	IV-54
5. Plant Palette	IV-54
6. Walls and Fences	IV-58
7. Special Hardscape Treatment	IV-65
8. Lighting	IV-65
SECTION V – IMPLEMENTATION PLAN	V-1
A. DESIGN REVIEW	V-1
B. SUBSEQUENT APPLICATION PROCESS	V-1
1. Substantial Conformance.....	V-1
2. Formal Amendments	V-2
C. CONDITIONAL USE PERMITS	V-2
SECTION VI – GENERAL PLAN CONSISTENCY ANALYSIS	VI-1

LIST OF FIGURES

No.	FIGURE	PAGE
1	Regional Map	I-4
2	Vicinity Map	I-5
3	Aerial Photograph	I-6
4	Topographic Map	I-8
5	General Plan Land Use Designations	I-9
6	Zoning Map	I-10
7	Specific Plan Land Use Plan	II-2
8	Site Plan	II-3
8A	Site Plan with Residential Overlay	II-4
9	Circulation Plan	II-7
9A	Circulation Plan with Residential Overlay	II-8
10	Monte Vista Avenue and 11 th Street Intersection	II-10
11	Foothill Boulevard and Dewey Way Intersection	II-11
12	Pedestrian Circulation	II-12
13	Conceptual Grade Contours	II-13
14	Water Plan	II-14
15	Sewer Plan	II-17
16	Drainage Plan	II-18
17	Typical Unit Plotting and Setbacks: Attached Residential	III-5
17A	Typical Drive Court Sections	III-6
18	Typical Unit Plotting and Setbacks: Detached Residential	III-8
19	Conceptual Imagery – Commercial-Retail	IV-3
20	Conceptual Imagery – French Country Architectural Style	IV-9
21	Conceptual Imagery – French Country Architectural Style	IV-10
22	Conceptual Imagery – French Provencal Architectural Style	IV-12
23	Conceptual Imagery – French Provencal Architectural Style	IV-13
24	Conceptual Imagery – French Chateau Architectural Style	IV-15
25	Conceptual Imagery – French Chateau Architectural Style	IV-16

UPLAND CROSSING SPECIFIC PLAN

LIST OF FIGURES

26	Acorn Light.....	IV-21
27A	Monterey Architectural Style.....	IV-24
27	Conceptual Imagery – Monterey Architectural Style.....	IV-25
28	Conceptual Imagery – Monterey Architectural Style.....	IV-26
29A	Andalusian Farmhouse Architectural Style.....	IV-28
29	Conceptual Imagery – Andalusian Farmhouse Architectural Style.....	IV-29
30	Conceptual Imagery – Andalusian Farmhouse Architectural Style.....	IV-30
31A	Santa Barbara Architectural Style.....	IV-32
31	Conceptual Imagery – Santa Barbara Architectural Style.....	IV-33
32	Conceptual Imagery – Santa Barbara Architectural Style.....	IV-34
33A	Spanish Colonial Architectural Style.....	IV-36
33	Conceptual Imagery – Spanish Colonial Architectural Style.....	IV-37
34	Conceptual Imagery – Spanish Colonial Architectural Style.....	IV-38
35	Conceptual Landscape Plan.....	IV-43
35A	Location Map.....	IV-44
36	Foothill Boulevard Streetscape.....	IV-46
37	Monte Vista Avenue Streetscape.....	IV-47
38	11 th Street (East) Streetscape.....	IV-48
38A	11 th Street (West) Streetscape.....	IV-49
39	Dewey Way Streetscape.....	IV-50
40	Interior Road Streetscape with Parking.....	IV-51
41	Interior Road Streetscape without Parking.....	IV-52
42	Primary Residential Entry at 11 th Street.....	IV-53
43	Primary Residential Entry at Dewey Way.....	IV-55
44	Recreation Area Concept.....	IV-56
45	Channel Plan View and Section.....	IV-57
46	Wall and Fence Plan.....	IV-62
47	Corner Treatment.....	IV-63
48	Perimeter Wall and Pilaster Detail.....	IV-64

□ LIST OF TABLES

No.	TABLE	PAGE
1	Land Use Summary	II-1
2	Public Service Providers	II-16
3	Commercial Development Standards	III-2
4	Residential Development Standards	III-4
5	Permitted and Conditionally Permitted Uses (Residential)	III-7
6	French Country Design – Minimum Requirements	IV-8
7	French Provencal Design – Minimum Requirements	IV-11
8	French Chateau Design – Minimum Requirements	IV-14
9	Monterey Design – Minimum Requirements	IV-23
10	Andalusian Farmhouse Design – Minimum Requirements	IV-27
11	Santa Barbara Design – Minimum Requirements	IV-31
12	Spanish Colonial Design – Minimum Requirements	IV-35
13	Plant Palette	IV-59

I. INTRODUCTION

A. EXECUTIVE SUMMARY

1. PURPOSE

This Specific Plan document has been prepared to facilitate processing and approval of the Upland Crossing Specific Plan development and its associated discretionary and administrative approvals. The Upland Crossing Specific Plan provides detailed text and exhibits which describe the residential and possible commercial-retail uses, and associated improvements that are envisioned to occur within the project. Design guidelines and development standards contained within this Specific Plan will guide site planning, architecture, and landscape design to create a cohesive project identity. This Specific Plan document will guide the build-out of the Upland Crossing Specific Plan in a manner which is consistent with City and State policies and standards and assures that the project is developed in a coordinated manner.

2. SPECIFIC PLAN AUTHORITY AND CONTENT

The Upland Crossing Specific Plan has been prepared pursuant to the provisions of California Government Code Section 65450, which grants local government agencies the authority to prepare specific plans of development for any area covered by a General Plan, for the purpose of establishing systematic methods of implementation of the agency's General Plan. A General Plan does not show local streets, individual parcels, or site-specific land uses. A Specific Plan, on-the-other-hand, is specific in nature as compared to a General Plan. It is designed to address site specific issues such as building setbacks and visual appearance, as well as project-wide concerns such as circulation and provisions for utilities. While a General Plan examines an entire City or County, a Specific Plan concentrates on the individual development

issues of a region or particular property. The City of Upland General Plan contains objectives which mandate the preparation of Specific Plans to ensure that new development meets basic standards for environmental safety, infrastructure, and site planning while providing provisions for the maintenance of aesthetic quality and cultural identity.

California Government Code Sections 65450 through 65454 establish the authority to adopt a Specific Plan, identify the required contents of a Specific Plan, and mandate consistency with the General Plan. According to Section 65450, a Specific Plan shall include a text and a diagram or diagrams which specify all of the following detail:

1. The distribution, location, and extent of the uses of land, including open space, within the area covered by the plan;
2. The proposed distribution, location, extent, and intensity of major components of public and private transportation, sewage, water, drainage, solid waste disposal, energy, and other essential facilities proposed to be located within the area covered by the plan and needed to support the land uses described in the plan;
3. Standards and criteria by which development will proceed, and standards for the conservation, development, and utilization of natural resources, where applicable;
4. A program of implementation measures including regulations, programs, public works projects, and financing measures necessary to carry out items (1), (2), and (3) above; and
5. A discussion of the relationship of the Specific Plan to the General Plan.

In response to government requirements, this Specific Plan has been

prepared to provide the essential link between the policies of the Upland General Plan and actual development in the project area. By functioning as a regulatory document, the Upland Crossing Specific Plan provides a means of implementing and detailing the City of Upland's General Plan. In this regard, all future development plans and entitlements within the Specific Plan boundaries shall be consistent with the standards set forth in this document. This Specific Plan provides a path to properly develop the Upland Crossing Specific Plan, taking into account local goals, objectives, and policies.

3. PROJECT SUMMARY

The proposed project consists of a Specific Plan to allow for the development of a residential and possible small commercial-retail community, offering options of flexibility within this future community in the City of Upland. The Upland Specific Plan is located at the western gateway of the City of Upland, generally bounded by Foothill Boulevard to the north, Monte Vista Avenue to the west, 11th Street to the south, and Dewey Way to the east. The Upland Crossing Specific Plan consists of 355 attached and detached residential condominiums and up to 27,500 square feet of new commercial-retail floor area or 20 additional attached residential condominiums on the approximately 31.6-acre property. Up to 27,500 square feet of commercial-retail floor area or a residential overlay of approximately 20 attached condominiums are proposed in Planning Area 1. Planning Areas 2 and 3 will have 210 attached condominiums with an average of 1,400 square feet and 145 detached condominiums with an average of 1,300 square feet, respectively. The residential densities for Planning Areas 2 and 3 are approximately 20.0 dwelling units per acre and 12.4 dwelling units per acre, respectively. The proposed recreation and open space areas include an approximate 0.6-acre recreation area and an approximate 0.4-acre recreation area, including a swimming pool, common gathering area, and perimeter landscaping. In addition, Planning Area 4 will include the San Antonio Creek Channel which generally bisects the Upland Crossing property in a slight northeast to southwest direction. A

pedestrian trail will be located on the west side and an access road will be located on the east side of this channel, subject to regulatory approvals. Additionally, a vehicular roadway will cross the channel at the northern portion of the project site, connecting Planning Areas 2 with 3, and providing convenient access to the two recreation areas. All interior streets within this community will be private. Four vehicular entries to the project are proposed along Foothill Boulevard, Monte Vista Avenue, 11th Street and Dewey Way.

Until recently, the Upland Crossing property was used as quarries and basins for the Chino Basin Water Conservation District. A General Plan Amendment is proposed to change the land use designation from Commercial/Industrial-Special Use Permit (CI-S) to Specific Plan (SP). The project site's current zoning is proposed to change from Highway Commercial (CH) and Light Industrial (ML) to Specific Plan (SP).

The Upland Crossing Specific Plan provides for flexible development under the Specific Plan designation contained in the City of Upland General Plan. The Specific Plan contains development controls to provide the City of Upland with assurances that the site area will be built out as planned. To ensure that the design criteria are adhered to, a set of design guidelines is included within the Upland Crossing Specific Plan. These design guidelines encompass site planning, landscaping, lighting, architectural design, architectural theme and community character.

4. PROJECT GOALS

The Upland Crossing Specific Plan is a development that is consistent with the City's desire to revitalize the area while creating a sense of place and a central activity focus. The project will provide for residential uses, a possible commercial-retail area, and two recreation areas all integrated into one master development plan. Each developed use will be within easy walking distance of one another and will be designed with common landscape and architectural themes. The goal of

providing a development in a previously underutilized and unincorporated area will be met with the implementation of the Upland Crossing Specific Plan.

More specifically, the goals and objectives of the Upland Crossing Specific Plan are to:

- Create a comprehensive plan that is consistent with the City's desire to revitalize the area recently annexed into the City, while creating a sense of place and a central activity focus;
- Create a high quality infill development that provides a combination of homes and lot types;

- Provide development guidelines so that the builders can develop around two complementary architectural themes that will allow a variety of elevations within their respective styles. The French architectural theme will include French Country, French Provencal and French Chateau styles, and the Spanish architectural theme will include Monterey, Andalusian Farmhouse, Santa Barbara and Spanish Colonial styles;

- Provide a new development that complements and strengthens the residential neighborhoods east and southeast of the project site. Multiple-Family Residential including condominiums (12-20 DU/AC), Single Family Residential (4-6 DU/AC) and Multiple-Family: Mobile Homes (8-14 DU/AC) are located east of the project site. To the southeast are Multiple-Family Residential (12-20 DU/AC) and Single Family Residential (4-6 DU/AC);

- Provide housing that meets the market demand with similar densities to those of the residential communities previously described;

- Improve the appearance of the existing San Antonio Creek Channel

which generally bisects the project in a slight northeast to southwest direction, while providing a recreational use to residents;

- Provide landscape and architecture elements that incorporate the City's theme of preserving the past with the current and future needs of the community. The project will be designed so the architecture, street and pedestrian corridors, and neighborhood identification elements reflect the City's current vernacular; and
- Create a development that combines landscape and urban design elements to help create the urban gateway that the City desires.

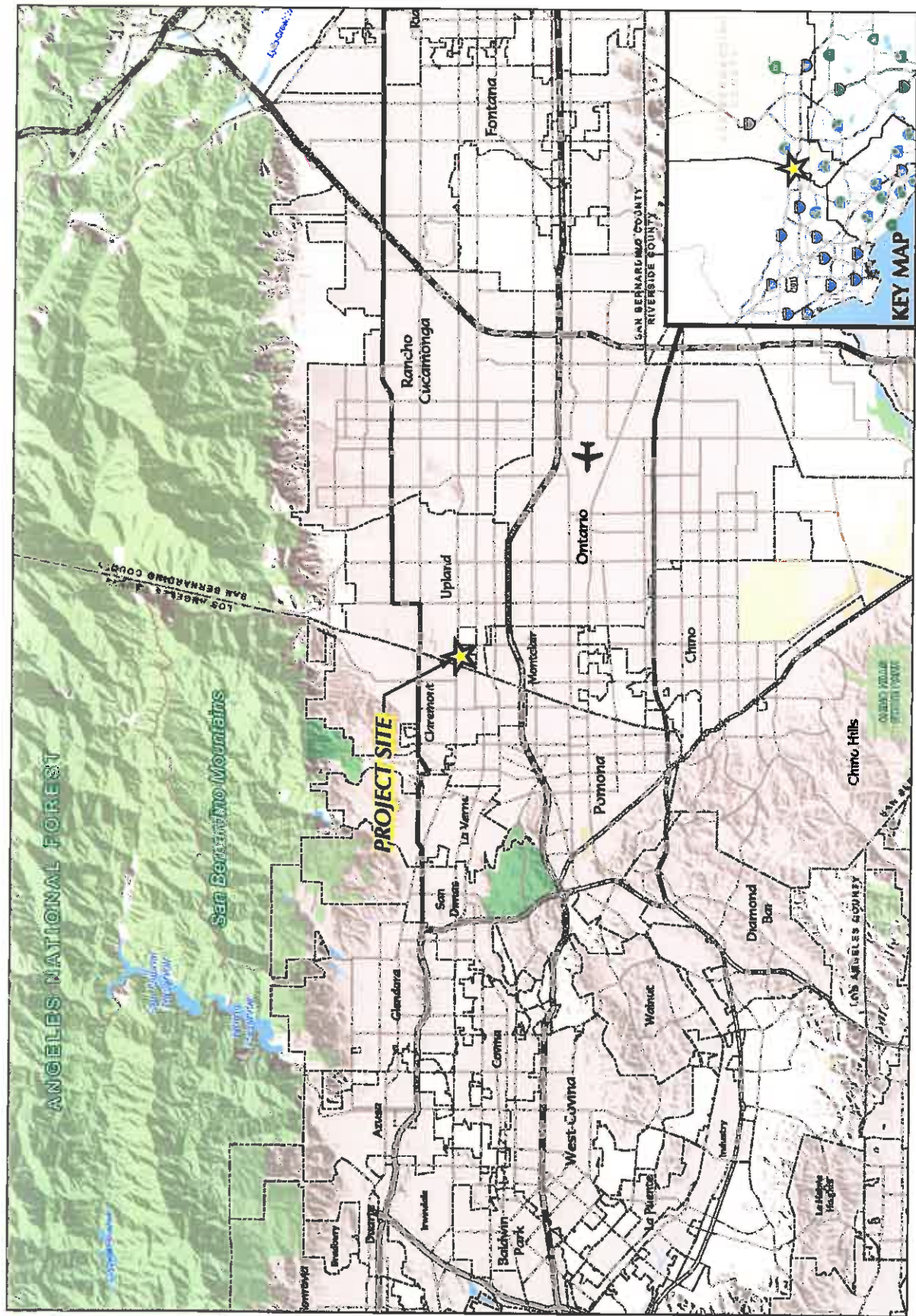
B. SETTING

1. SITE LOCATION

The 31.6-acre Upland Crossing Specific Plan property is located in San Bernardino County, California in the western portion of the City of Upland. The City of Upland is situated west of the City of Rancho Cucamonga, north of the City of Ontario, and east of the City of Claremont (see Figure 1, Regional Map and Figure 2, Vicinity Map). Regional access is provided by Interstate 10 (I-10) to the south and State Route 210 (SR-210) to the north. The property is bounded to the west by Monte Vista Avenue, to the north by Foothill Boulevard, and to the south by the future extension of 11th Street (see Figure 3, Aerial Photograph).

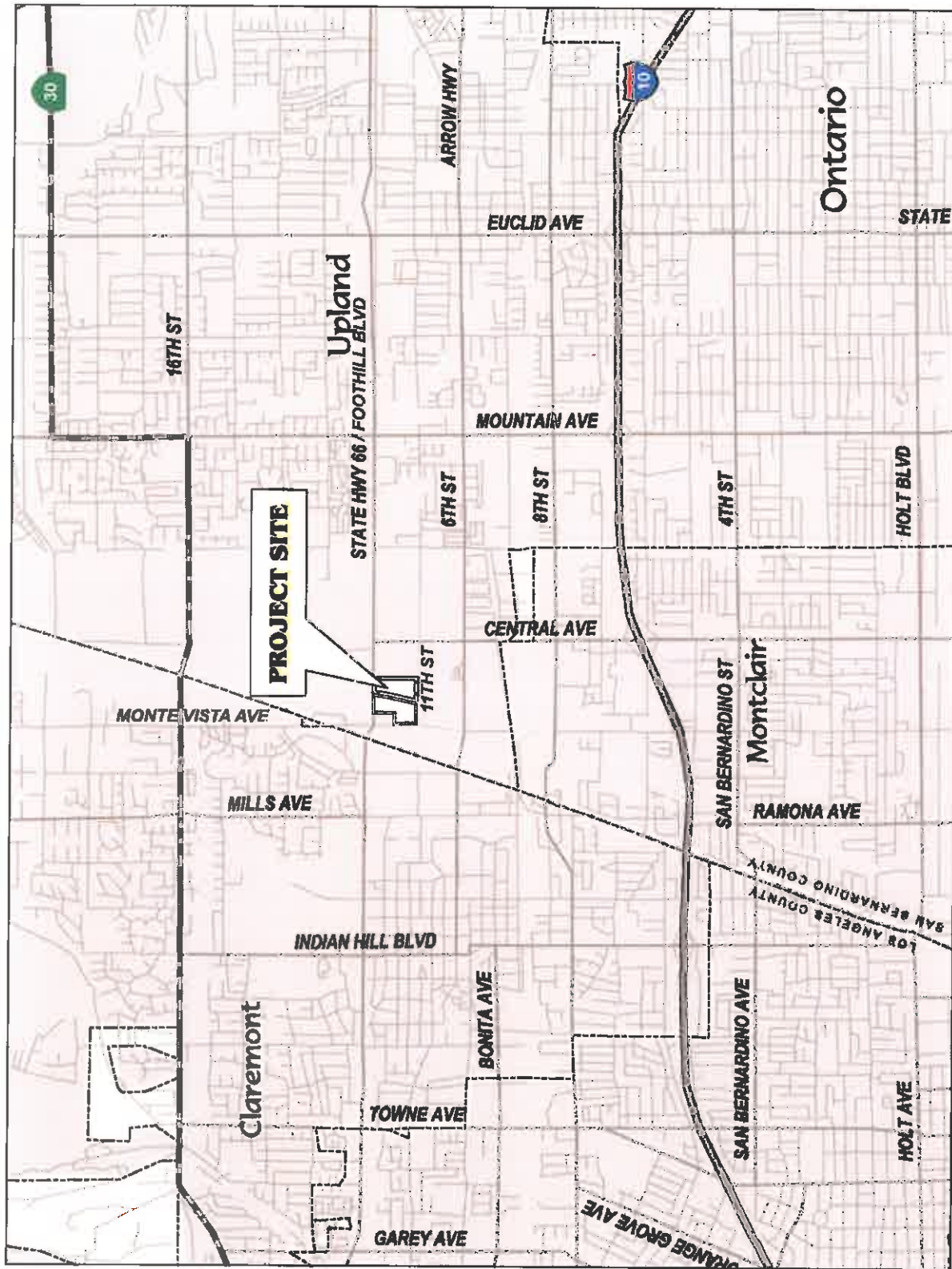
2. SITE CONDITIONS

At present, the project site is generally undeveloped and previously consisted of two retention basins. Over the years, these detention basins have been filled and cleared and are currently surrounded by a light to moderate growth of weeds and shrubs along their boundaries. Diagonally separating the two former retention basins is the San Antonio Creek Channel and adjacent property owned by the San



Upland Crossing Specific Plan
Upland, CA

Figure 1
Regional Map



Upland Crossing Specific Plan
Upland, CA

Figure 2
Vicinity Map



Source: Eagle Aerial; Flown: 2004

Upland Crossing Specific Plan Upland, CA

Figure 3
Aerial Photograph

Bernardino County Flood Control District. The project area slopes significantly from the northern boundary at Foothill Boulevard to the southern boundary at 11th Street. Elevations on-site range from 1,284 feet to 1,336 feet above mean sea level, generally sloping in a southwest direction (see Figure 4, Topographic Map). Future grading will be limited to excavation for foundations and associated infrastructure. Currently there is no access provided to the project site.

3. SURROUNDING LAND USES AND DEVELOPMENT

The Upland Crossing Specific Plan is located in an area that was recently annexed into the City of Upland from Los Angeles County. The majority of the Foothill Boulevard corridor has been developed over the years with commercial uses. Specifically, land to the north of the Upland Crossing Specific Plan site is developed with several business parks. Located east of the project site are water tanks operated by the Monte Vista Water District and a small commercial center. The southern edge of the project site is bordered by the future extension of 11th Street connecting to Monte Vista Avenue and water recharge basins owned by the Chino Basin Water Conservation District. Unused land owned by Claremont College is located west of the project site. Overall, the Upland Crossing Specific Plan will develop the previously underutilized character of this area.

C. LAND USE ENTITLEMENT

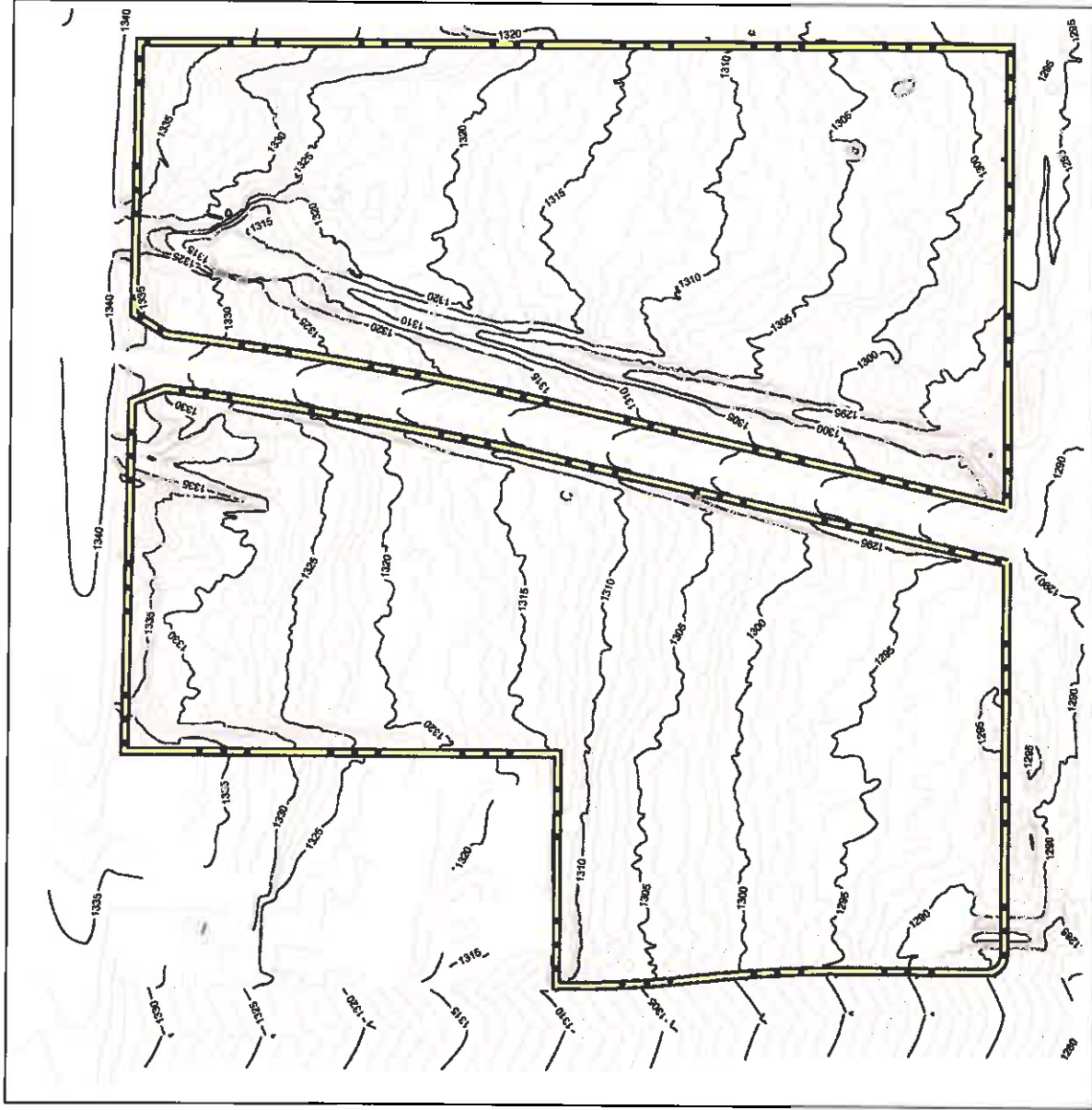
1. GENERAL PLAN DESIGNATION

The City of Upland General Plan Land Use Map currently designates the 31.6-acre Upland Crossing project site as Commercial-Industrial Special Use Permit (CI-S), as shown on Figure 5, General Plan Land Use Designations. The CI-S designation permits all proposed uses, with multi-family residential allowed pursuant to a special use permit. The Specific Plan Overlay designation requires a Specific Plan and its design guidelines to be prepared and adopted to provide direction related to site

planning, architectural design, and site specific development standards. Project compliance to the City of Upland General Plan is demonstrated in Section VI of this Specific Plan. With project implementation, the property's Land Use Designation will be changed to Specific Plan (SP). Therefore, a General Plan Amendment (GPA) will be required to implement the Upland Crossing Specific Plan.

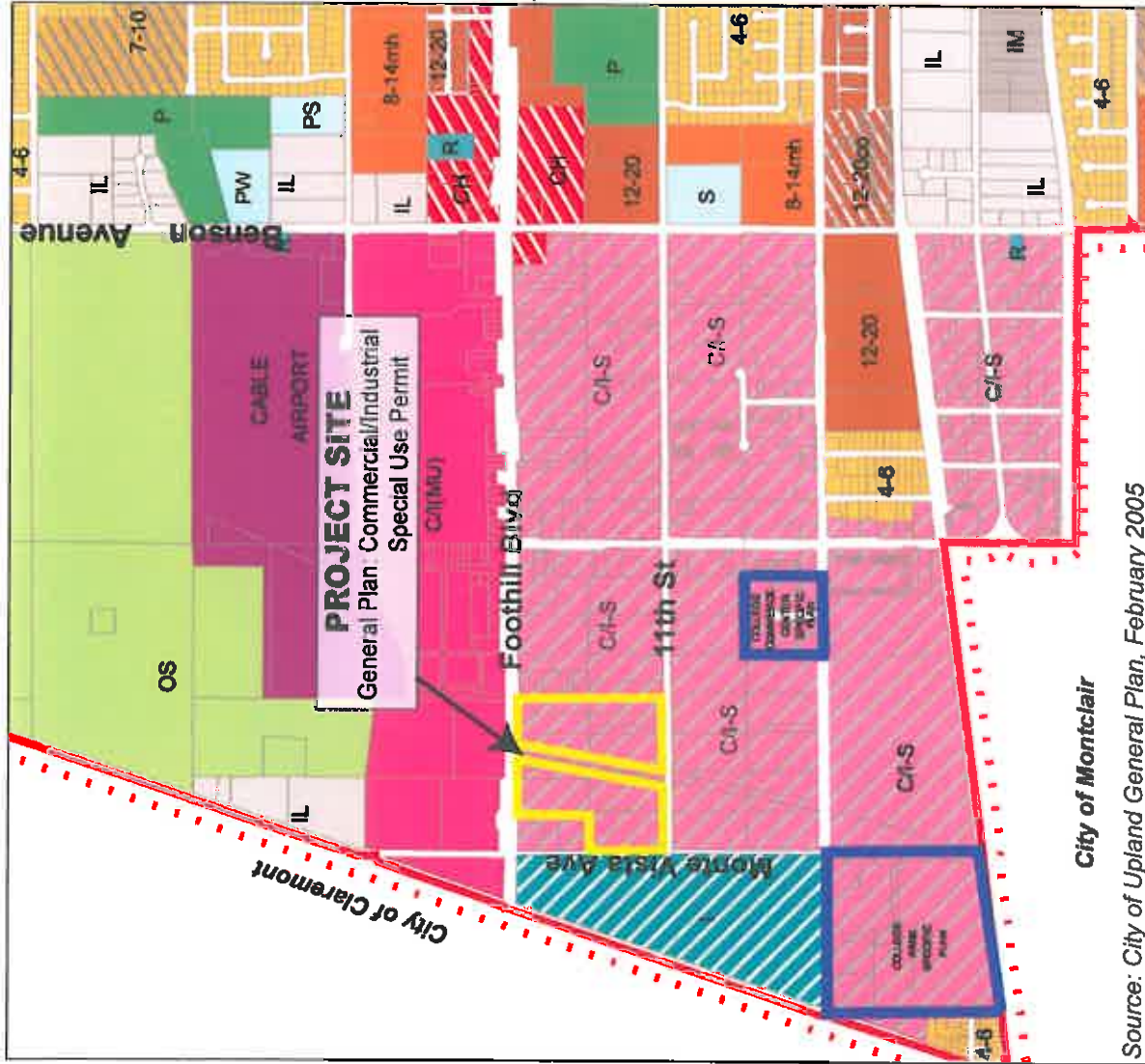
2. ZONING

The Upland Crossing Specific Plan site is currently zoned Highway Commercial (CH) and Light Industrial (ML) by the City of Upland, as depicted on Figure 6, Zoning Map. According to the City of Upland Article IX, Planning and Zoning, Chapter 9457, the CH zone is a designation for those areas that do not belong in either the neighborhood centers or the concentrated business districts. They are related to the use of the highway and to other types of drop-in trade. The CH zone supplies many uses, including neighborhood shops, a commercial center, and uses that may properly belong to a commercial center in the City of Upland. Chapter 9473 of the City of Upland Article IX, Planning and Zoning, states that the ML zone is intended to provide for the development of industrial uses that include fabrication, manufacturing, assembly or processing of materials that are already in processed form. This zone is also intended to provide locations for Industrial Planned Unit Developments, which is defined as a large-scale development of a parcel involving a related group of uses planned as an entity and having a predominant developmental feature that serves to unify or organize development. While these designations would generally allow for the proposed development envisioned to occur on-site, the ML zoning designation specifically prohibits all residential uses other than watchman's quarters. To achieve conformity, a Zone Change (ZC) is required to recognize the Upland Crossing Specific Plan. With adoption of the Upland Crossing Specific Plan, the project site's current zoning will be changed to Specific Plan (SP). Development Standards are contained in Section III of this Specific Plan document, which provide detailed zoning standards specifically tailored for the Upland



Upland Crossing Specific Plan
Upland, CA

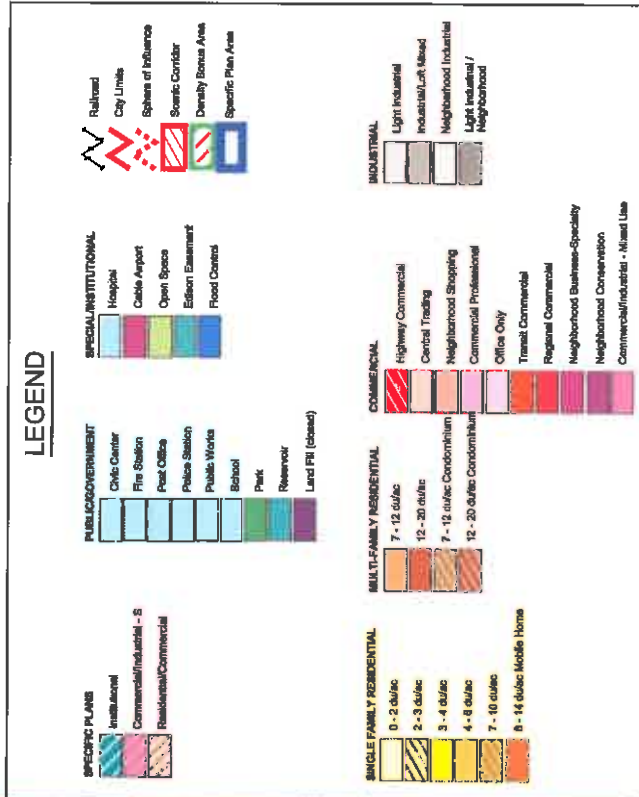
Figure 4
Topographic Map



Source: City of Upland General Plan, February 2005

Upland Crossing Specific Plan Upland, CA

Figure 5
General Plan Land Use Designations



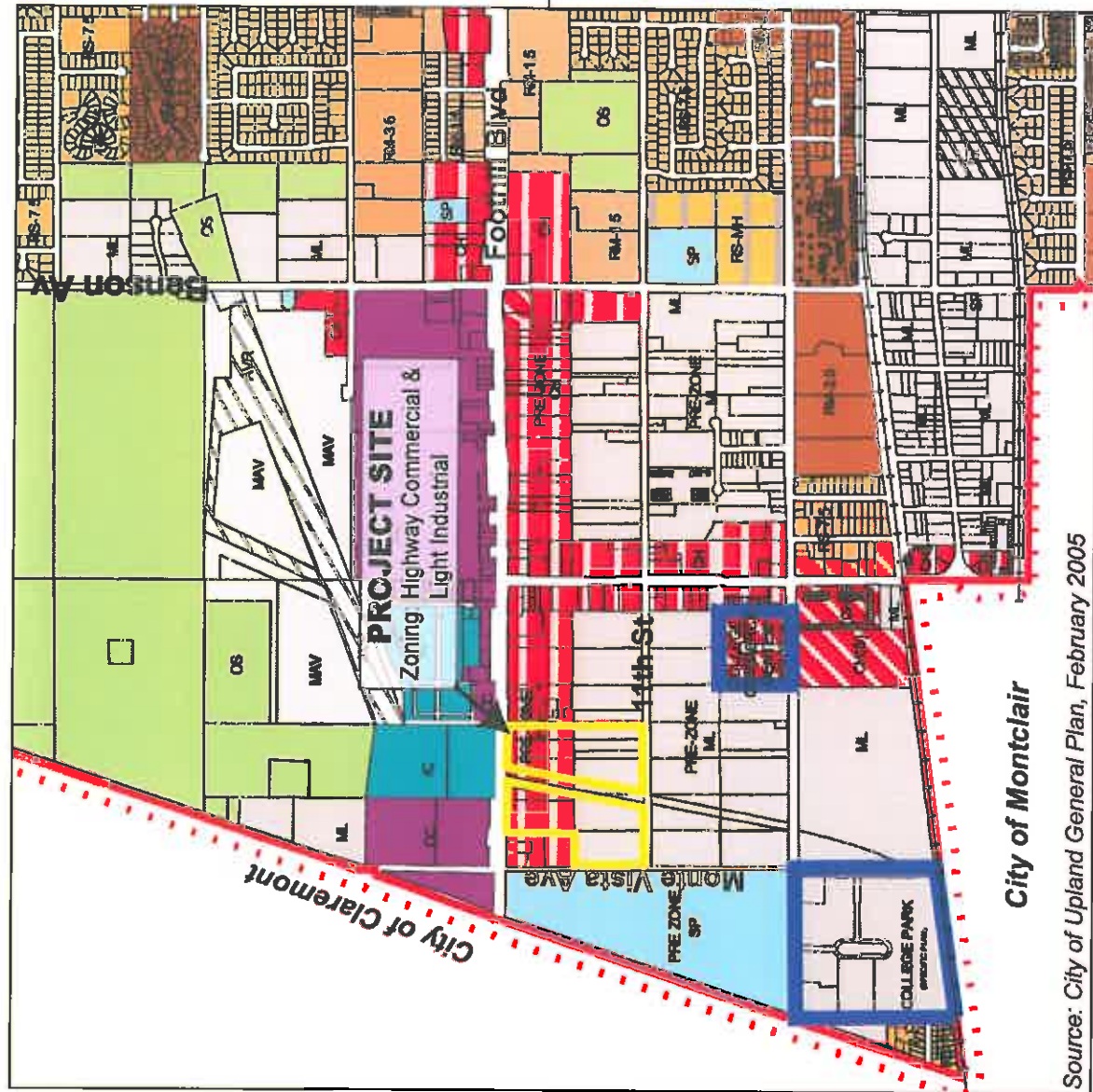
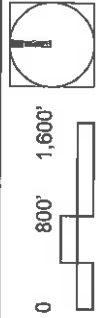


Figure 6 Zoning Map

Upland Crossing Specific Plan
Upland, CA

TEMPLETON PLANNING GROUP

Crossing Specific Plan.

3. DISCRETIONARY ACTIONS AND APPROVALS

The project applicant seeks to amend the General Plan Land Use Map and Upland Zoning Map to allow for the proposed uses and to recognize the Upland Crossing Specific Plan. The Upland Crossing Specific Plan was prepared under the authority of the City of Upland. This document will be used in connection with the following related decisions:

- Approval of the General Plan Amendment to change the land use designation of the Upland Crossing Specific Plan property from Commercial-Industrial Special Use Permit (CI-S) to Specific Plan (SP);
- Approval of the Zone Change to change the zoning designation of the Upland Crossing Specific Plan property from Highway Commercial (CH) and Light Industrial (ML) to Specific Plan (SP);
- Adoption of the Upland Crossing Specific Plan;
- Approval/adoption of a Development Agreement for the Upland Crossing Specific Plan;
- Approval/adoption of a Tentative Tract Map(s) implementing the Upland Crossing Specific Plan;
- Certification or approval of the required California Environmental Quality Act (CEQA) document; and
- Conditional Use Permits (CUPs), Variances, and Design Review as implementing actions of the Upland Crossing Specific Plan.

II. SPECIFIC PLAN PROGRAM ELEMENTS

A. OVERVIEW

Upon completion, the Upland Crossing Specific Plan will contain a high-quality development composed of up to 355 residential units in a variety of densities, two recreation areas, and up to 27,500 square feet of new commercial-retail floor area or 20 additional residential units on a 31.6-acre property, as shown in Table 1, Land Use Summary. Figure 7, Specific Plan Land Use Plan, illustrates the distribution of land uses. Options for this site include residential and retail, thereby enhancing the potential for establishing a vibrant master planned development. The development of the Upland Crossing Specific Plan will incorporate sound site planning designed to connect the various land uses and facilitate vehicular and pedestrian movement.

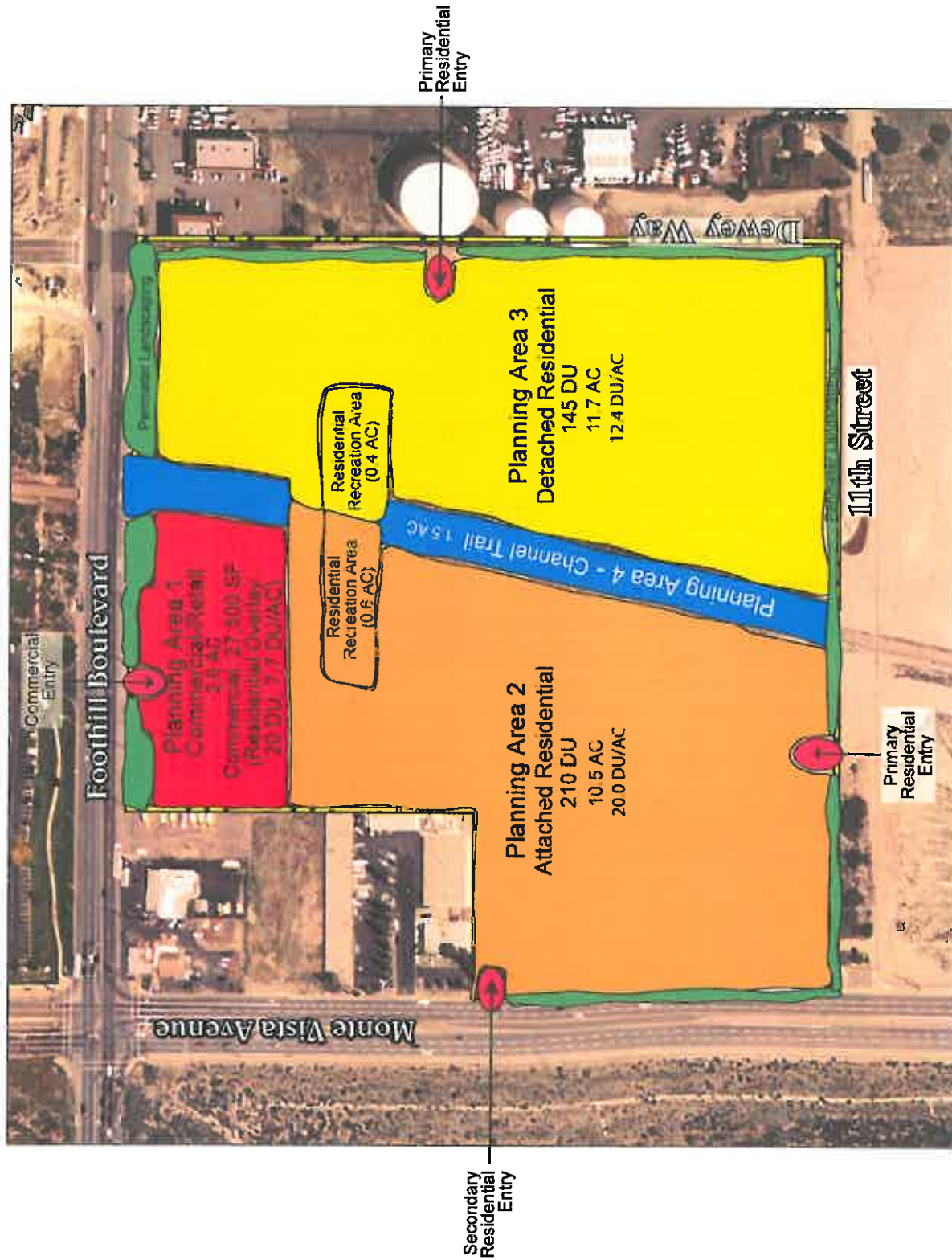
A Site Plan, Figure 8, has been developed and serves as a depiction of the development concepts envisioned for the residential, recreational and possible commercial-retail components of the Upland Crossing Specific Plan. A depiction of the site plan with the residential overlay exercised is shown on Figure 8A, Site Plan with Residential Overlay.

Individual lot design, building footprints, and parking layouts are representative and based on design requirements set forth by this Specific Plan. Review and approval of actual development plans will occur as implementing actions of this Specific Plan. Section V, Implementation, details the submittal requirements and process for implementing the Upland Crossing Specific Plan.

It is the intent of this Specific Plan to ensure that site development is accomplished in a logical and timely manner. Specific design elements, including the siting of compatible land uses, selection of complementary architectural design, and implementation of a unified landscape plan, have been conceived and consistently applied in order to assure a varied and fully integrated development. A number of important issues were examined and considered during the preparation of this Specific Plan document, including market acceptance, economic viability, environmental sensitivity, and positive aesthetic contribution to the City of Upland and its residents.

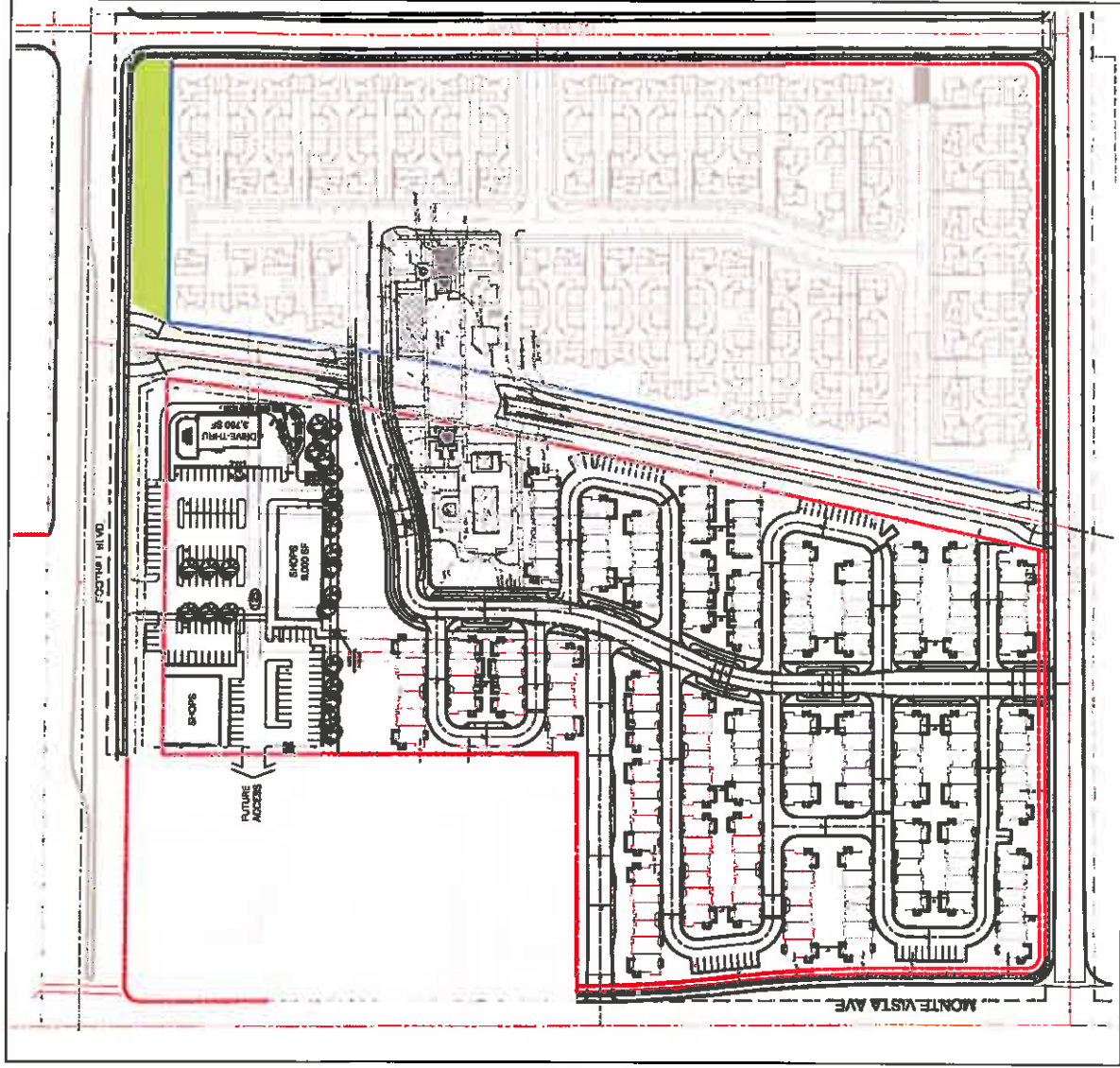
**TABLE 1
LAND USE SUMMARY**

LAND USE	PLANNING AREA	ACRES	MAXIMUM DENSITY (DU/AC)	MAXIMUM FLOOR AREA (S.F.)	MAXIMUM DWELLING UNITS
Commercial-Retail	1	2.6	--	27,500	--
Residential Overlay	1	(2.6)	7.7	--	(20)
Attached Residential	2	10.5	20.0	--	210
Detached Residential	3	11.7	12.4	--	145
Channel Trail	4	1.5	--	--	--
Project Roads	--	5.3	--	--	--
TOTAL	--	31.6	--	27,500	355



Upland Crossing Specific Plan
Upland, CA

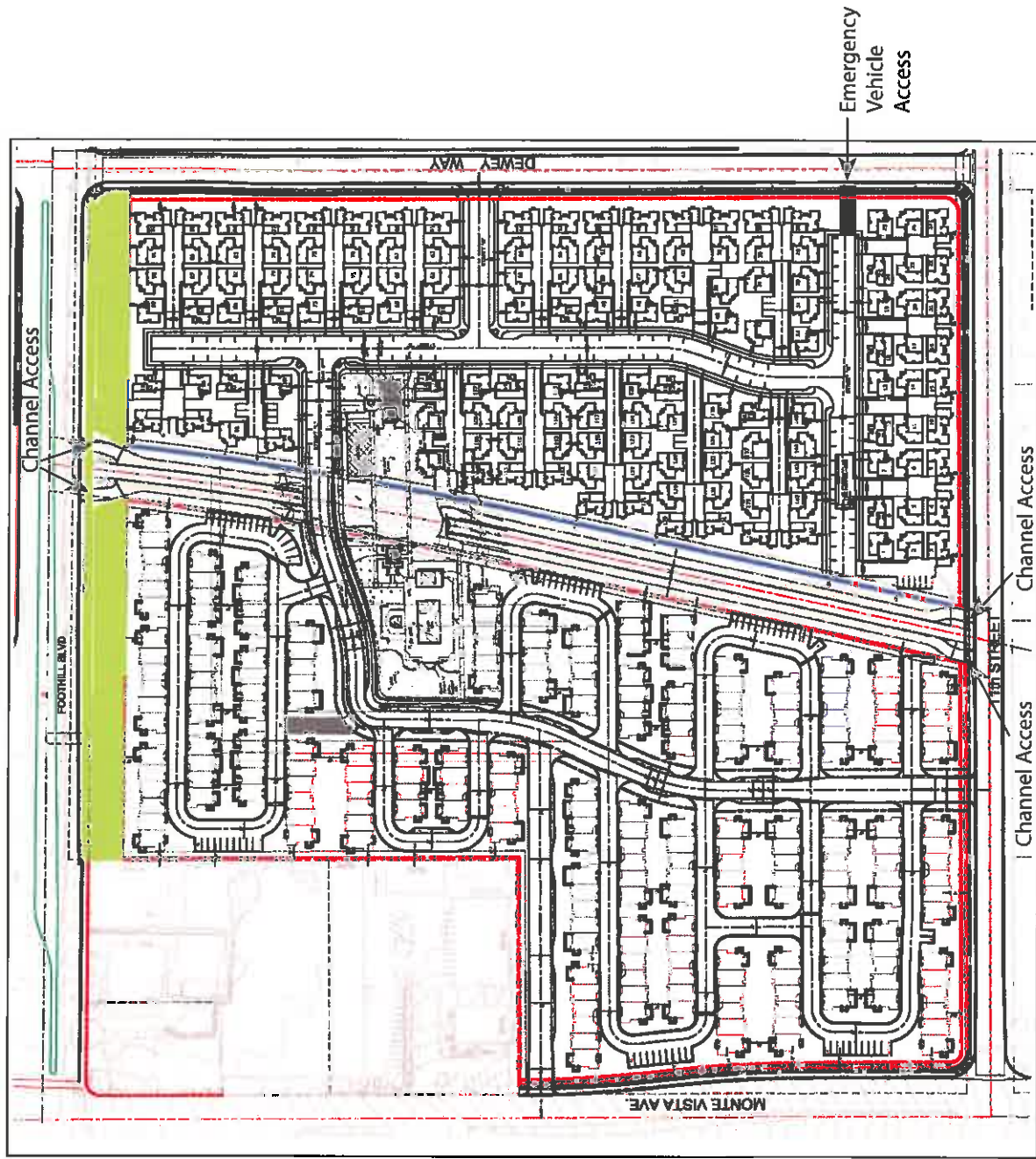
Figure 7
Specific Plan Land Use Plan



Source: Madole & Associates, Inc.

Upland Crossing Specific Plan Upland, CA

Figure 8
Site Plan



Source: Madole & Associates, Inc.

Upland Crossing Specific Plan
Upland, CA

Figure 8A
Site Plan with Residential Overlay



B. PLANNING AREAS

Four distinct development areas, identified as "Planning Areas," implement the planning objectives set forth for the Upland Crossing Specific Plan. These four planning areas arise from a logical organization of uses and planned units of development that will create the environment envisioned for the project. Collectively, the various planning areas will generate a unique identity for the Upland Crossing Specific Plan through complementary architectural and landscape themes and a strong circulation network. A general description of each planning area is set forth below, while specific development standards and guidelines for design implementation are provided in Section III, Development Standards, and Section IV, Design Guidelines.

1. COMMERCIAL-RETAIL WITH RESIDENTIAL OVERLAY – PLANNING AREA 1

Located in the northwestern portion of the site adjacent to Foothill Boulevard, Planning Area 1 could serve as the visual and retail focal point of the Upland Crossing Specific Plan and could provide up to 27,500 square feet of new commercial-retail floor area on 2.6 acres. Planning Area 1 could provide for smaller shops that would offer various types of goods and services. Primary access and identification signage for commercial-retail tenants would be located in Planning Area 1 and the area would be integrated with adjacent planning areas through secondary pedestrian access points.

A residential overlay on Planning Area 1 is suggested for the Upland Crossing Specific Plan. This overlay would allow for a maximum of 20 residential units in place of the 27,500 square feet of commercial-retail floor area maximum allowed on the 2.6-acre Planning Area 1. Residential densities within the Upland Specific Plan Area shall be transferable. Planning Areas 1 and 2 would be site planned as if it were one residential planning area, ensuring a cohesive design. Implementation of this residential overlay would decrease the residential density of Planning Area 2, from approximately 20.0 dwelling units per

acre to approximately 17.6 dwelling units per acre in Planning Areas 1 and 2 combined. Additionally, this residential overlay would omit the project entrance in Planning Area 1 at Foothill Boulevard. Residents living in Planning Area 1 or 2 would enter the project site via Monte Vista Avenue or 11th Street.

2. ATTACHED RESIDENTIAL – PLANNING AREA 2

Situated in the southwest portion of the site, Planning Area 2 will provide for the development of Attached Residential uses consisting of up to 210 dwelling units on 10.5 acres. The maximum density for Planning Area 2 shall be up to 20.0 dwelling units per acre and will consist of attached residential condominium product. In addition, Planning Area 2 will include an approximate 0.6-acre recreation area which is intended to serve the active and passive recreational needs of the community. This area will include a swimming pool and common gathering area, and may also include walking paths, open turf areas for play, tot lots, covered picnic shelters, and picnic/barbeque areas.

3. DETACHED RESIDENTIAL – PLANNING AREA 3

Detached Residential uses will be developed on the east half of the Upland Crossing Specific Plan site. Specifically, Planning Area 3 will be developed with up to 145 dwelling units on 11.7 acres. The maximum density for Planning Area 3 shall be up to 12.4 dwelling units per acre and will consist of detached residential product. An approximate 0.4-acre recreation area will be included in Planning Area 3.

4. CHANNEL TRAIL – PLANNING AREA 4

The San Antonio Creek Channel will be located in Planning Area 4, which generally bisects the Upland Crossing Specific Plan area in a slight northeast to southwest direction. This channel will include approximately 1.5 acres of improvements within the right of way, including a pedestrian trail on the west side, and an access road on the east side. Informal

plantings of canopy trees and medium scale vertical screen trees planted on both sides of the channel will provide residents living along the channel privacy as well as shade for trail users during the warm summer months. Additionally, the project will include a road located at the north end of the channel which will connect the two residential neighborhoods together. Adjacent to this road will be the two recreation areas which will meet over the center of the channel with a grass area in the middle, as shown on Figure 44, Recreation Area Concept. All improvements within the San Antonio Creek Channel right of way are subject to U.S. Army Corps of Engineers and San Bernardino County Flood Control District approval.

C. CIRCULATION PLAN

1. VEHICULAR CIRCULATION AND ACCESS

The Upland Crossing Specific Plan improvements on the internal circulation network will ensure safe, direct, and convenient vehicular access to and through the project's various land uses. The Circulation Plan, Figure 9, illustrates the existing roadway network, which is consistent with the City of Upland's General Plan Circulation Element. Direct access to the Upland Crossing Specific Plan is provided via the existing Foothill Boulevard and Monte Vista Avenue, and will have access from the future extension of 11th Street and construction of Dewey Way. Figure 9A, Circulation Plan with Residential Overlay, illustrates the existing and proposed roadway network configuration with the residential overlay in place. This Specific Plan also calls for landscaping improvements to existing exterior project roadways. To the extent possible, existing lane configurations and right-of-way improvements on existing exterior project roadways will be retained. If the required project CEQA document and associated Traffic Analysis determine that improvements to exterior project roadways are required, they shall be completed as a part of implementing the Upland Crossing Specific Plan. A description of the exterior project roadways adjacent to the Upland Crossing Specific Plan is described below.

- **Foothill Boulevard**

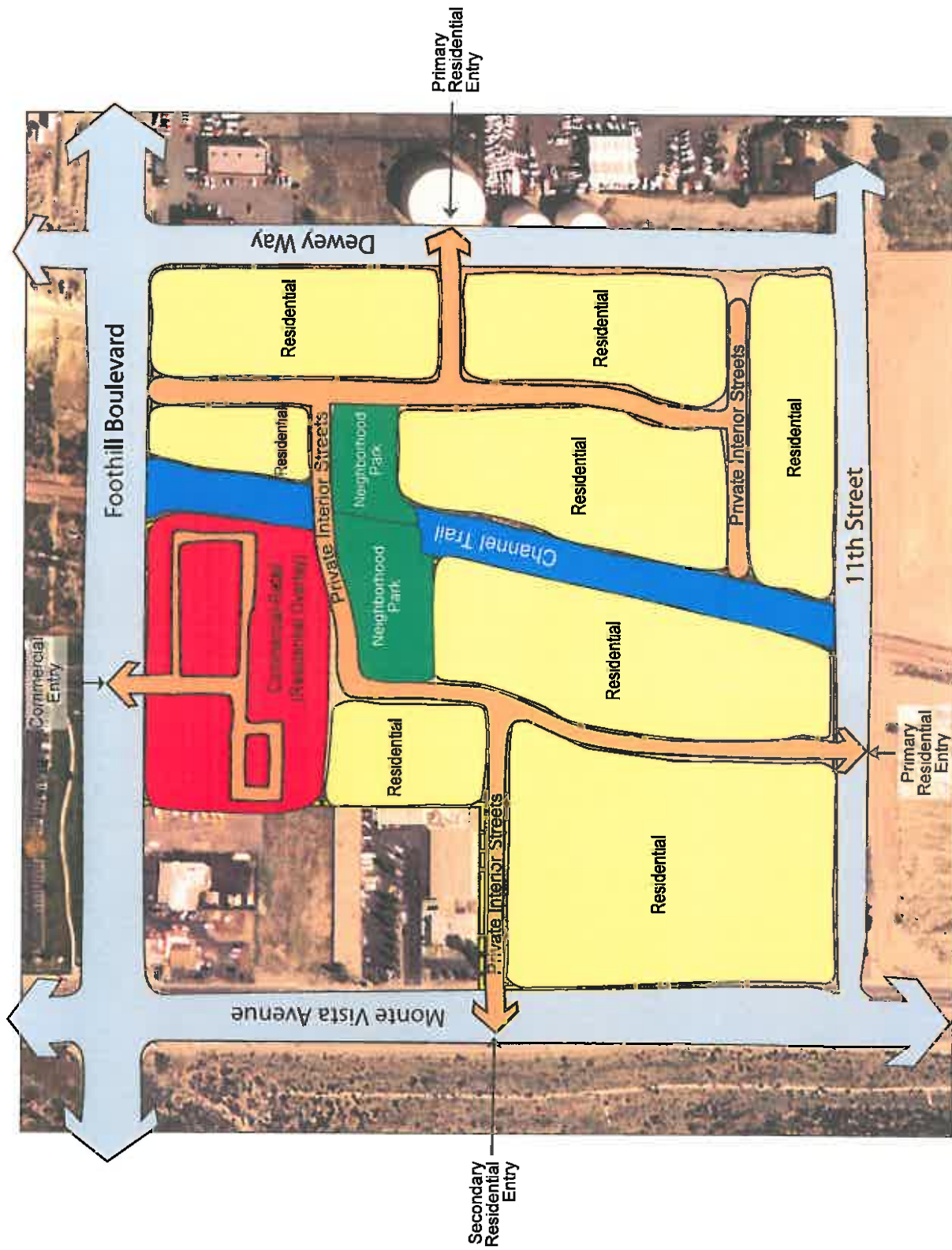
Foothill Boulevard, also called historic Route 66, is classified as a Major Arterial and serves as a backbone of Upland's transportation system by offering adjacent and nearby commercial, industrial, and residential development a major access route to Interstate 10 (I-10) via Monte Vista Avenue. It also acts as the primary east-west distributor to other segments of the City's circulation system. Foothill Boulevard forms the northerly boundary of the project and has a base right-of-way width of 107 feet south of centerline. The San Antonio Creek Channel covering at the Foothill bridge will be extended approximately 42 feet. Right-turn in and right-turn out access into Planning Area 1 on Foothill Boulevard will be provided. If the residential overlay is exercised, access to Foothill Boulevard is no longer needed.

- **Monte Vista Avenue**

Monte Vista Avenue, which forms the western boundary of the Upland Crossing Specific Plan, is designated as a Major Arterial with a base right-of-way width of 136 feet. Monte Vista Avenue runs in a north-south alignment and provides direct access from Interstate 10 (I-10) to the Upland Crossing Specific Plan site. A right-turn in and right-turn out access will be provided along Monte Vista Avenue at the northwestern corner of Planning Area 2. A traffic signal at the intersection of Monte Vista Avenue and 11th Street will be constructed.

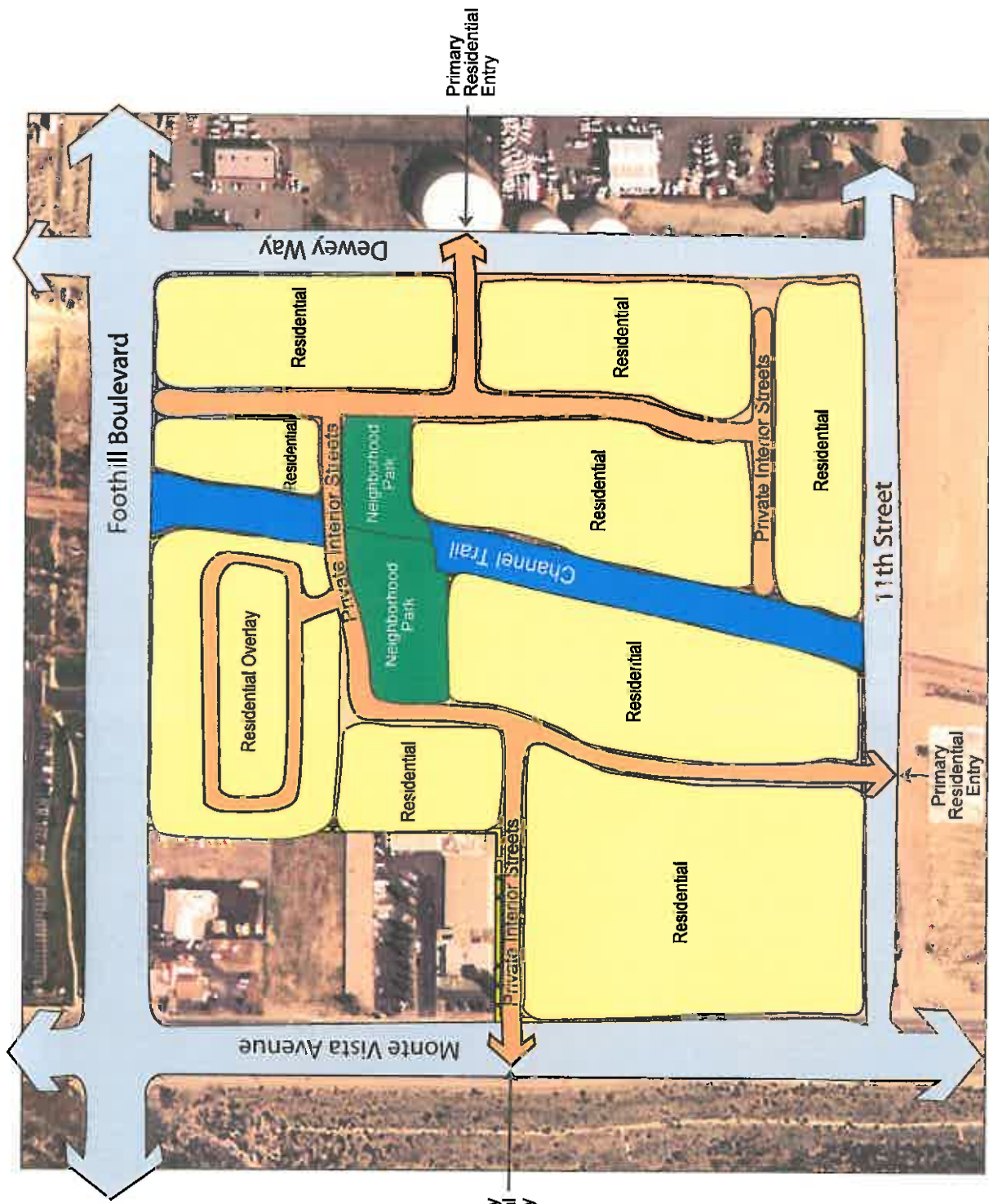
- **Future 11th Street**

The future extension of 11th Street, which will form the southern boundary of the Upland Crossing Specific Plan, is designated as a Collector Road with a base right-of-way width of 66 feet. Future 11th Street will run in an east-west alignment and will provide direct access to Central Avenue. Full access in



Upland Crossing Specific Plan
Upland, CA

Figure 9
Circulation Plan



Upland Crossing Specific Plan
Upland, CA

Figure 9A
Circulation Plan with Residential Overlay

and out of the project site will be provided along 11th Street near the southeast corner of Planning Area 2. A three-way stop sign will be constructed at the intersection of 11th Street and Dewey Way. The intersection of 11th Street at Monte Vista Avenue will include a traffic signal as shown on Figure 10.

- **Future Dewey Way**

Future Dewey Way, which will form the eastern boundary of the Upland Crossing Specific Plan, will be designated as a local collector street with a base right-of-way width of 61 feet. Future Dewey Way will run in a north-south alignment and will connect with Foothill Boulevard and the future extension of 11th Street. Full access in and out of the project site will be provided along Dewey Way, in between Foothill Boulevard and 11th Street. As shown on Figure 11, the intersection of Foothill Boulevard and Dewey Way will include a traffic signal.

2. PEDESTRIAN CIRCULATION AND ACCESS

The Upland Crossing Specific Plan is designed to be a pedestrian friendly community. Internal pedestrian circulation is designed around sidewalks on both sides of every street which connect to the two recreation areas and pedestrian trail that will be constructed along the west side of the San Antonio Creek Channel. See Figure 12, Pedestrian Circulation for more detail. Pedestrians will also be able to safely and conveniently walk along the streets which border the project site via pedestrian access ways. These pedestrian access ways will be provided by the four vehicular entries previously described, as well as by the north and south entrances to the pedestrian trail.

D. GRADING PLAN

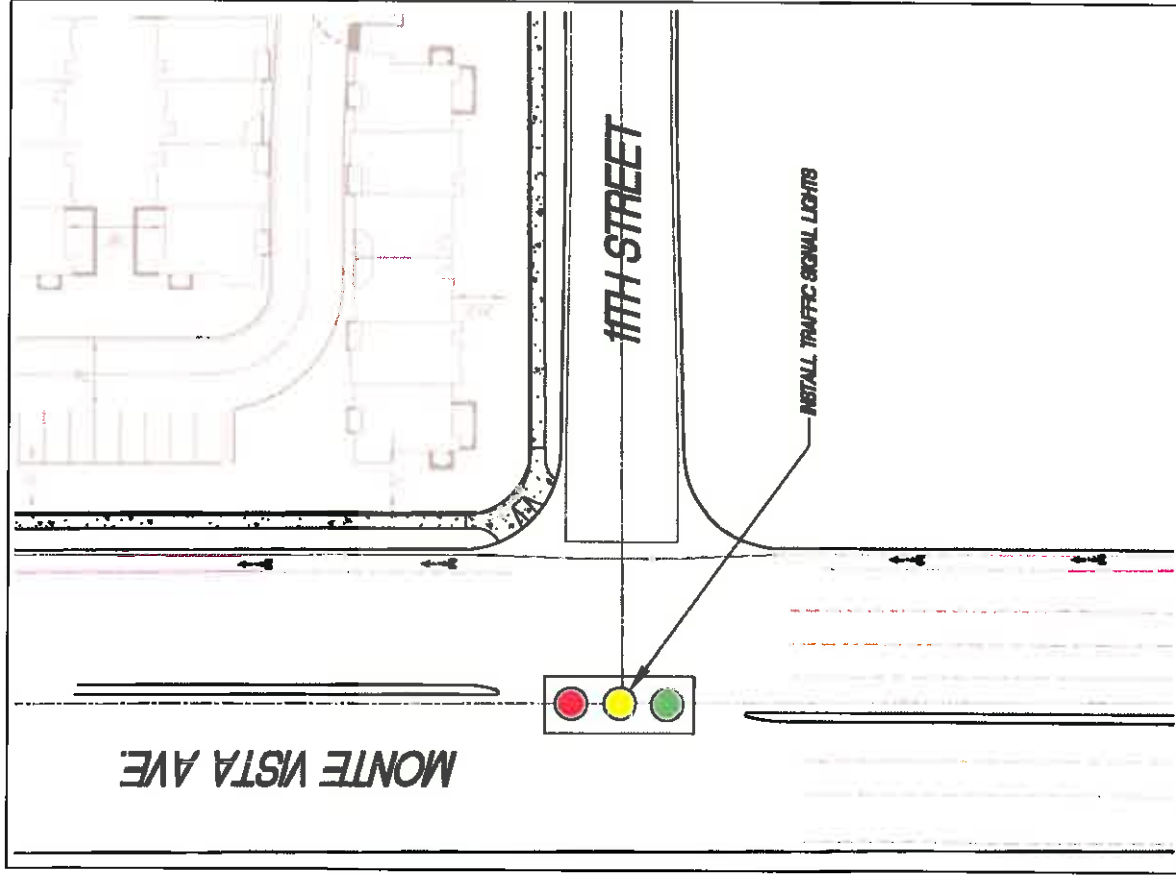
The grading plan for the Upland Crossing Specific Plan will be tailored to the existing topography of the project site. Due to the extensive topographic variation occurring on-site, a significant grading effort will

be required for future development proposed by this Specific Plan. The existing site elevation ranges from 1,284 feet to 1,336 feet above mean sea level and has an approximate fall of 52 feet between these two elevations. The project area slopes significantly from the northern boundary at Foothill Boulevard to the southern boundary at 11th Street. Soils and geologic conditions present no significant constraints to grading. The site will be graded to provide for the location and the proposed buildings and layout of the proposed circulation and parking facilities, as shown on Figure 13, Conceptual Grade Contours. The primary objectives of the grading plan are to: a) establish road grades that are consistent with those of the existing City streets around the site; and b) provide stable development pads.

E. PUBLIC FACILITIES AND SERVICES

1. WATER PLAN

The City of Upland will provide water service within the Upland Crossing Specific Plan. Metropolitan Water District shall satisfy water service requirements above local capabilities. The water plan is shown on Figure 14 which shows the proposed pipes. There are two existing water mains located in Foothill Boulevard and 11th Street. Water service within the project site will be provided by a loop system of proposed water lines to be located in Foothill Boulevard between Monte Vista Avenue and Dewey Way, in Dewey Way between Foothill Boulevard and 11th Street, in 11th Street between Monte Vista Avenue and Dewey Way, and in Monte Vista Avenue between Foothill Boulevard and 11th Street. In addition, the City has required that a parallel line be installed in 11th Street between Dewey Way and Monte Vista Avenue. The size of the water lines shall be verified by completion of a water supply and service analysis provided by the City. The water system shall be integrated into the design of the bridge at 11th Street so that the facilities meet the requirements of both the Public Works Director and the Community Development Director. All perimeter water facilities shall be publicly owned and maintained.



Source: Madole & Associates, Inc.

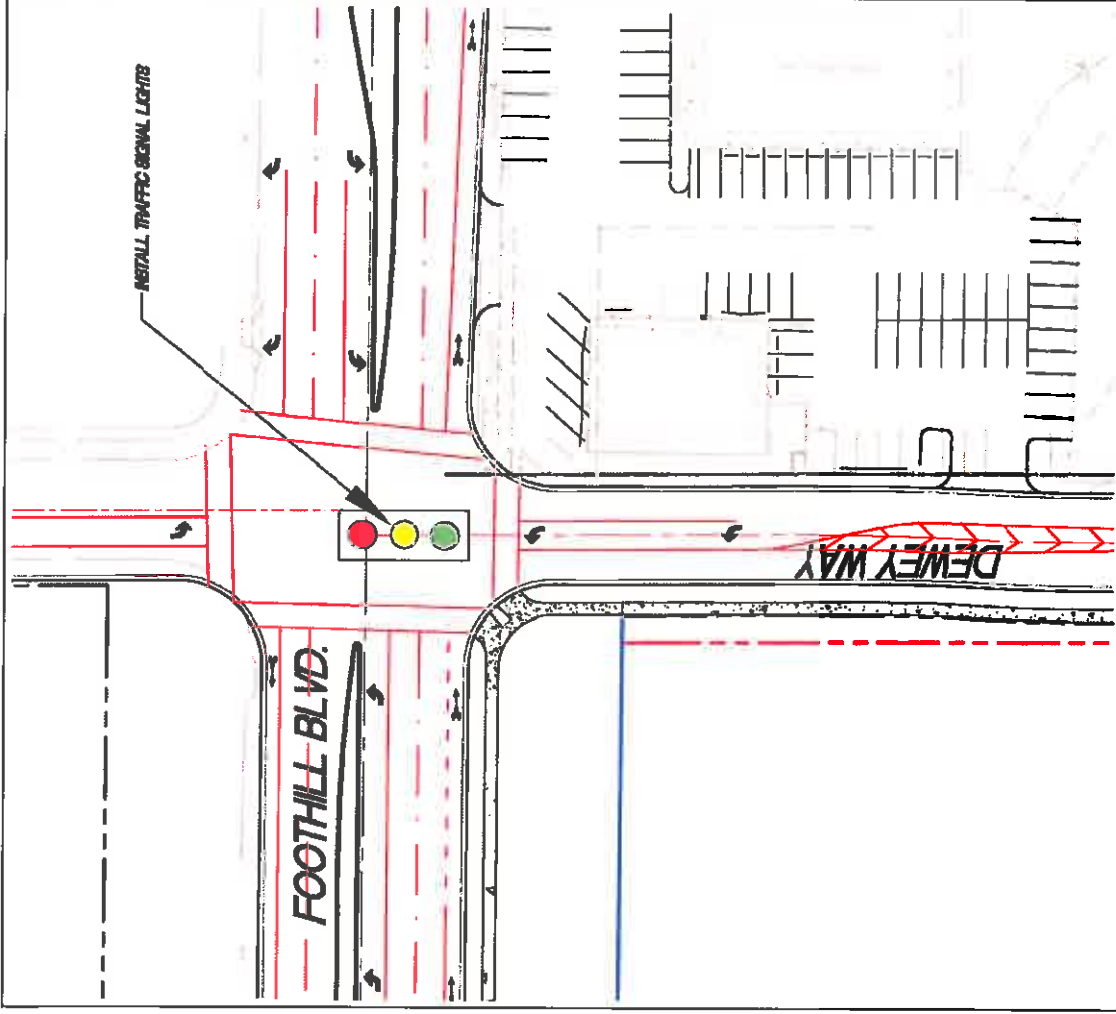
Upland Crossing Specific Plan
Upland, CA

Figure 10
Monte Vista Avenue and 11th Street Intersection



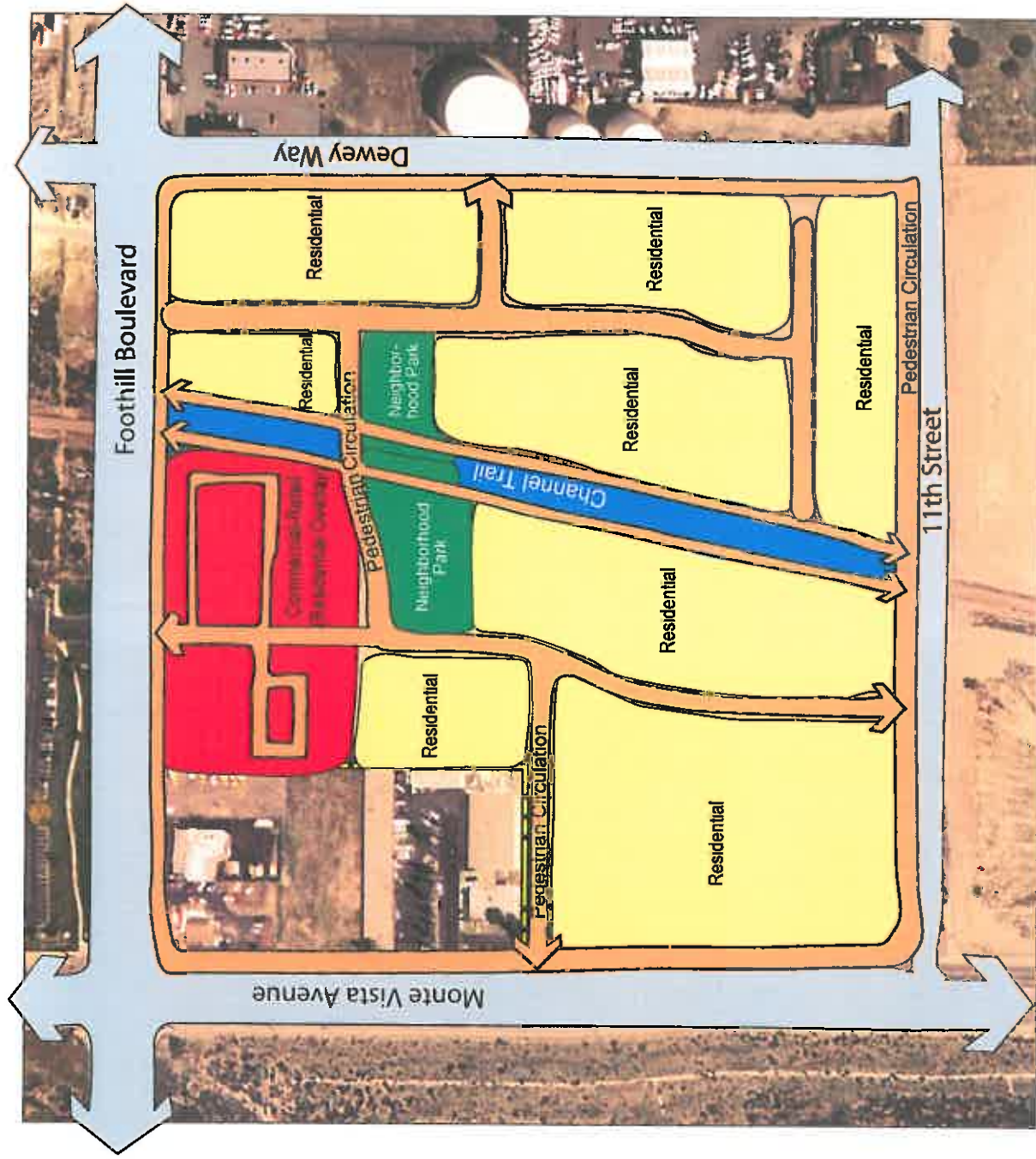
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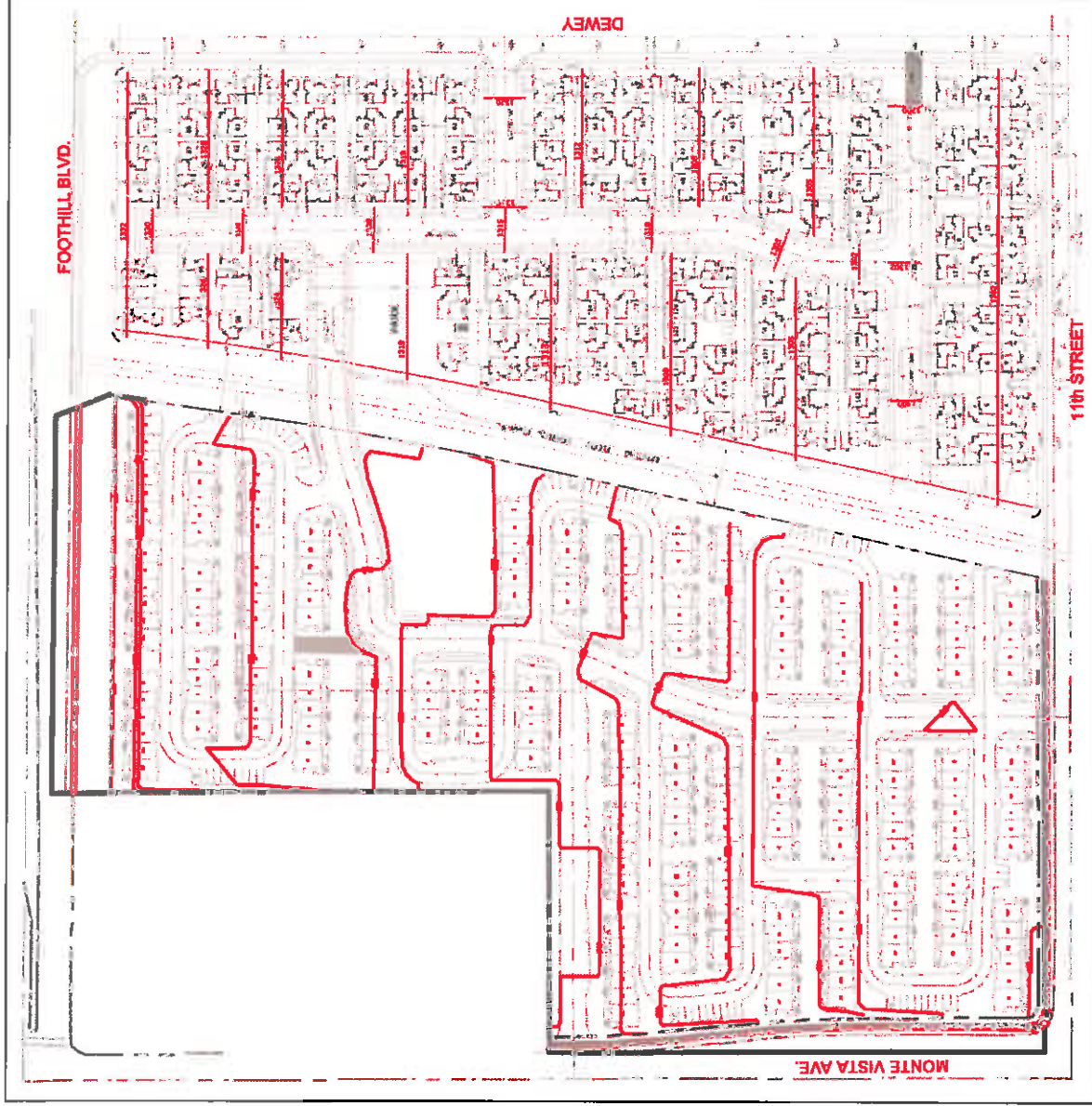




Source: Madole & Associates, Inc.







Source: Madole & Associates, Inc.

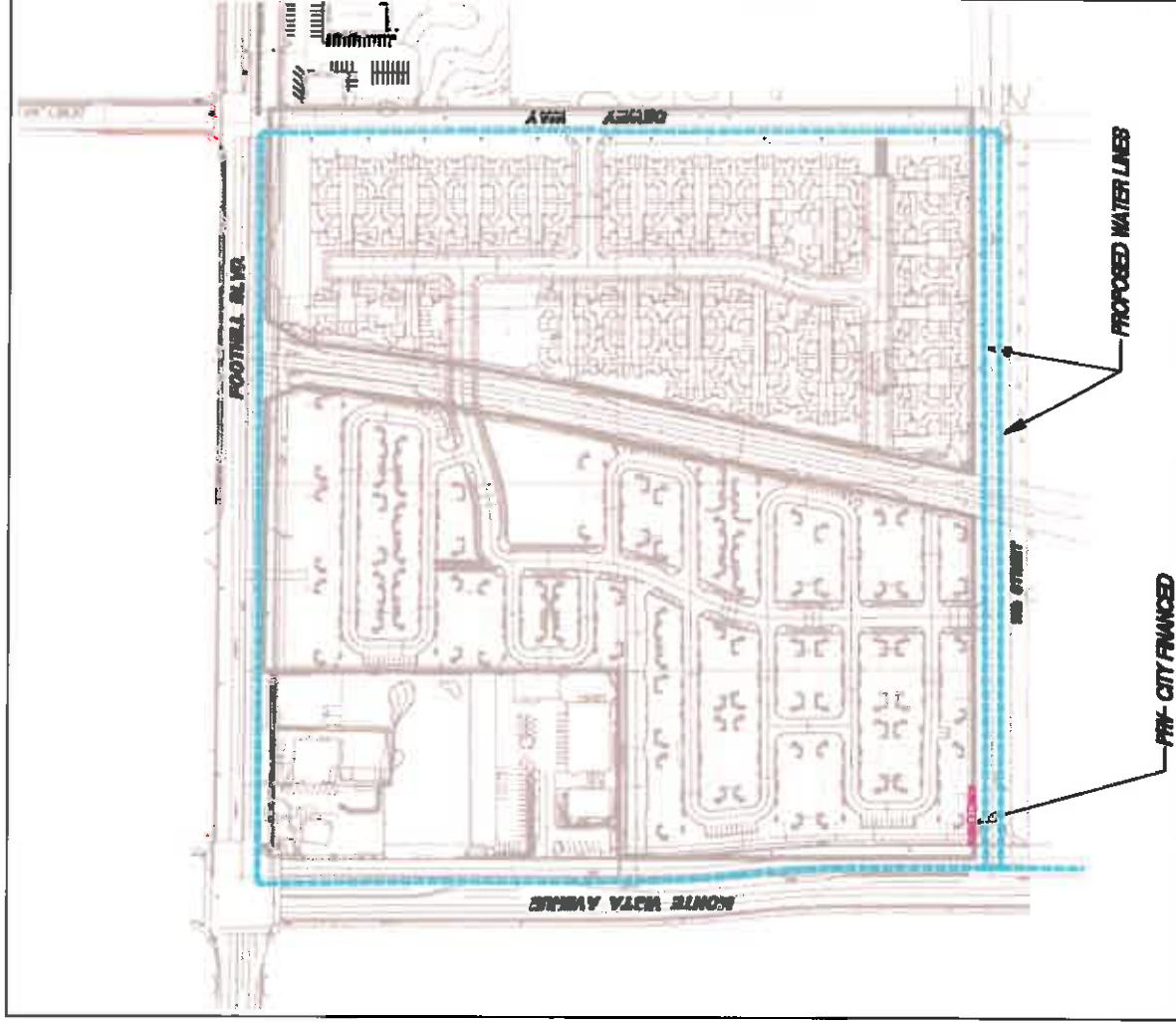
Upland Crossing Specific Plan
Upland, CA

Figure 13
Conceptual Grade Contours



NOT TO SCALE





Source: Madole & Associates, Inc.

NOTE: Sizes of water lines will be verified by completion of a water supply and service analysis verified by the City.

Upland Crossing Specific Plan
Upland, CA

Figure 14
Water Plan

2. SEWER PLAN

The City of Upland will provide wastewater service within the Upland Crossing Specific Plan. The proposed sewer plan is shown on Figure 15. All proposed sewer lines within the project site will be a minimum size of 8 inches in diameter, pending confirmation by a sewer analysis, and will run in the private interior street system. The sewer system will be split according to the East and West portions of the project site. All sewer lines located on the west side of the project site will be directed to an 8-inch sewer line located in Monte Vista Avenue and will continue south to facilities being constructed at Arrow Highway. If said facilities at Arrow Highway are not complete at time of construction, the line would continue south in Monte Vista Avenue, cross under the San Antonio Creek Channel and connect to the existing west end interceptor at Huntington Drive (vacated).

Similarly, all sewer lines located on the east side of the project site will be directed to an 8-inch sewer line located in Dewey Way. This sewer line will then be connected to an 8-inch sewer line in 11th Street that will flow in an 8-inch sewer line south of Dewey Way, into a 10-inch sewer line in Arrow Highway. It will then be connected to an 8-inch sewer line that leads to an existing 18-inch sewer main at Huntington Drive (vacated). Ultimate sewer line sizing will be determined and approved by the City of Upland Department of Public Works.

3. DRAINAGE PLAN

Development of the project site will increase runoff as a result of creating impervious surfaces such as paved streets, driveways, surface parking, and foundations for structures. The proposed storm drain system will consist of pipes within the streets and a variety of concrete inlet and outlet structures. Preexisting flows from the north will be collected at the existing culverts at Foothill Boulevard and carried through the project site. Drainage from the west side of the project site will be collected and carried through the site to 11th Street. At 11th Street the drainage shall be carried to the San Antonio Creek Channel or

other facilities as approved, shown on Figure 16, Drainage Plan. A proposed 48-inch stub is proposed on the southeast side of the project site and will drain all storm water from that side of the project site to the existing 72-inch RCP pipe located in Dewey Way. This pipe will then connect to an existing 102-inch RCP pipe south of Dewey Way to Arrow Highway. All backbone storm drain systems shall be publicly owned, operated and maintained. Backbone systems include systems that collect and convey offsite drainage. In addition, all storm drainage facilities shall be consistent with the City's Master Plan of Drainage. NPDES and WQMP implementation shall be incorporated.

4. PUBLIC SERVICES

Required public services and anticipated providers for the Upland Crossing Specific Plan area are listed below in Table 2, Public Service Providers. Southern California Gas Company and Southern California Edison Company shall satisfy the gas and electrical requirements of the project site, respectively. Solid Waste shall be managed by the City of Upland and Burttec Waste. Each unit shall provide individual storage of solid waste. Verizon shall provide telephone service, and cable service shall be provided by Adelphia. The Upland Police Department and Upland Fire Department shall provide the project site with police and fire protection, respectively.

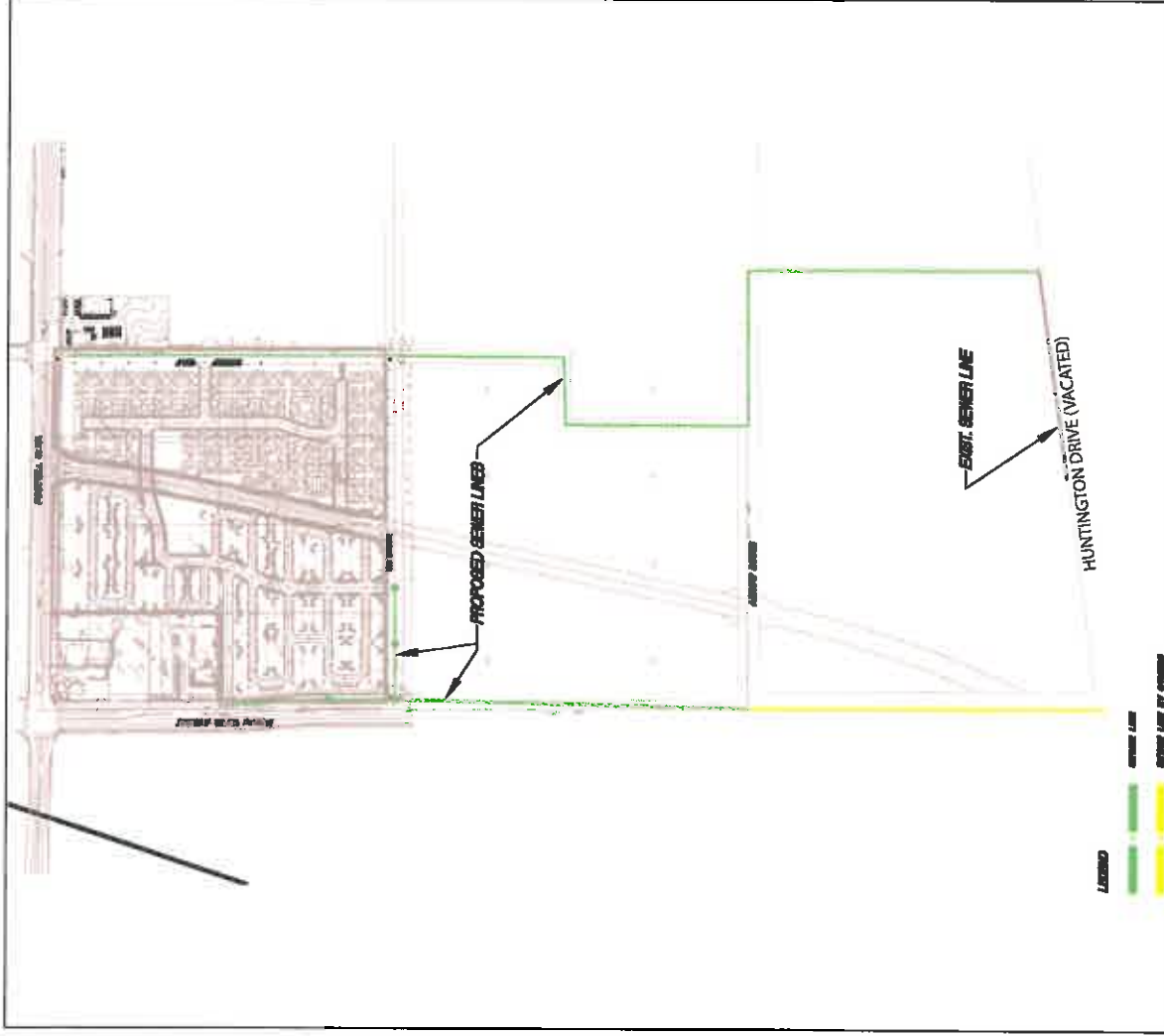
UPLAND CROSSING SPECIFIC PLAN

SPECIFIC PLAN PROGRAM ELEMENTS

II

TABLE 2
PUBLIC SERVICE PROVIDERS

SERVICE	PROVIDER
Water	City of Upland
Sewer	City of Upland/IEUA
Gas	Southern California Gas Company
Electricity	Southern California Edison Company
Solid Waste	City of Upland / Burtec Waste
Telephone	Verizon
Cable	Adelphia
Police Protection	Upland Police Department
Fire Protection	Upland Fire Department



Source: Madole & Associates, Inc.

Upland Crossing Specific Plan
Upland, CA

Figure 15
Sewer Plan



III. DEVELOPMENT STANDARDS

A. PURPOSE AND INTENT

The development standards contained in this Section shall be enforced to implement the Upland Crossing Specific Plan. These standards and regulations are consistent with the land use goals and objectives of the City of Upland General Plan and provide the basic criteria which will govern all development within the boundaries of the Upland Crossing Specific Plan.

In accordance with California Government Code Section 65860, each City within the state of California must adopt a zoning code which is consistent with the City's general plan. The City of Upland has adopted a zoning ordinance that is consistent with and serves to implement the City's adopted General Plan. This Specific Plan is complementary to the zoning code of the City of Upland and is specific to the Upland Crossing Specific Plan property. The standards identified in this Section shall apply only to the Upland Crossing Specific Plan area. These site-specific standards are tailored for this Specific Plan and do not apply outside of the Specific Plan area boundaries.

Development within the Specific Plan area shall be subject to the review processes discussed in Section V of this document. In addition to the Development Standards and criteria identified herein, development within the Upland Crossing Specific Plan shall comply with Article IX of the City of Upland Zoning Code. Should a conflict arise between an Article IX provision(s) and any standard(s) or regulation(s) contained herein, the standards and regulations of this Specific Plan shall take precedence.

B. GENERAL PROVISIONS

The Upland Crossing Specific Plan will provide for a mixture of residential, recreational and possible commercial-retail land uses. The following general provisions apply to all development within the Specific Plan boundaries:

- Definitions for terminology used in this Section comply with the definitions contained in the City of Upland Zoning Code, Article IX, Section 9402;
- Rules for interpretation of this Section shall be as provided in the City of Upland Zoning Code, Article IX; and
- All setbacks and heights established by this Section, unless otherwise noted, shall be measured in accordance with the City of Upland Zoning Code, Section 9402.

The following subsections set forth the development standards for the land uses of the Upland Crossing Specific Plan. This subsection has been prepared in accordance with California Government Code 65450 and all applicable development and design standards of the City of Upland Zoning Code, with some modification to provide flexibility and encourage innovative use of land within the Upland Crossing Specific Plan area.

C. COMMERCIAL-RETAIL

- (a) Table 3, Commercial Development Standards, sets forth minimum site development standards for commercial uses;

TABLE 3
COMMERCIAL DEVELOPMENT STANDARDS

DEVELOPMENT STANDARD	COMMERCIAL-RETAIL
LOT DIMENSIONS	
Minimum Lot Size	0.5 acre
Minimum Lot Width	100 feet
Minimum Lot Depth	100 feet
SETBACKS	
Minimum Front Yard	20 feet
Minimum Side Yard	15 feet
Minimum Rear Yard	20 feet
Minimum Side and Rear Yard Abutting Public Street	20 feet
Minimum Side and Rear Yard Abutting Residential	20 feet
OTHER	
Floor Area Ratio (FAR)	0.25
Maximum Height	40 feet
Minimum Landscape Area	15 percent
Vehicle Parking and Loading Requirements	1 space for every 150 square feet of gross floor area
Restaurant Parking Requirements	1 space for every 5 permanent seats

- (b) Permitted and Conditionally Permitted uses in areas designated for development with commercial-retail shall be consistent with the Highway Commercial (CH) zone of the City of Upland Zoning Code, Section 9457;
- (c) The commercial-retail development is intended to serve the neighborhood needs for convenience goods only. The stores are intended to fit into the residential pattern of development and not create either architectural or traffic conflicts;
- (d) Suggested permitted uses in the commercial-retail development include: pharmacy, grocery store, coffee shop, offices, bank, bakery, quick service restaurants and commercial businesses; and
- (e) Prohibited and undesirable uses in the commercial-retail development area include: gas station, laundry mat, dry cleaner, adult-oriented businesses, industrial businesses, employment or training centers. Alcohol sales are allowed subject to City regulations.

D. RESIDENTIAL

1. ATTACHED RESIDENTIAL (20.0 DU/AC)

- (a) Table 4, Residential Development Standards, sets forth minimum site development standards for development consisting of Attached Residential. Figure 17, Typical Unit Plotting and Setbacks: Attached Residential, is a graphical view of these development standards. Figure 17A, Typical Drive Court Sections includes some of the typical setbacks as described in Table 4;

- (b) Permitted and Conditionally Permitted uses in areas designated for development with Attached Residential

shall be consistent with Table 5, Permitted and Conditionally Permitted Uses (Residential); and

- (c) Model home complexes and/or sales trailers, and associated parking facilities, landscaping, monumentation, and flags shall be permitted within residential planning areas, subject to administrative site plan approval by the City of Upland Planning Department.

2. DETACHED RESIDENTIAL (12.4 DU/AC)

- (a) Table 4, Residential Development Standards, sets forth minimum site development standards for development consisting of Detached Residential. Figure 18, Typical Unit Plotting and Setbacks: Detached Residential, is a graphical view of these development standards. Figure 17A, Typical Drive Court Sections includes some of the typical setbacks as described in Table 4;

- (b) Permitted and Conditionally Permitted uses in areas designated for development with Detached Residential shall be consistent with Table 5, Permitted and Conditionally Permitted Uses (Residential); and

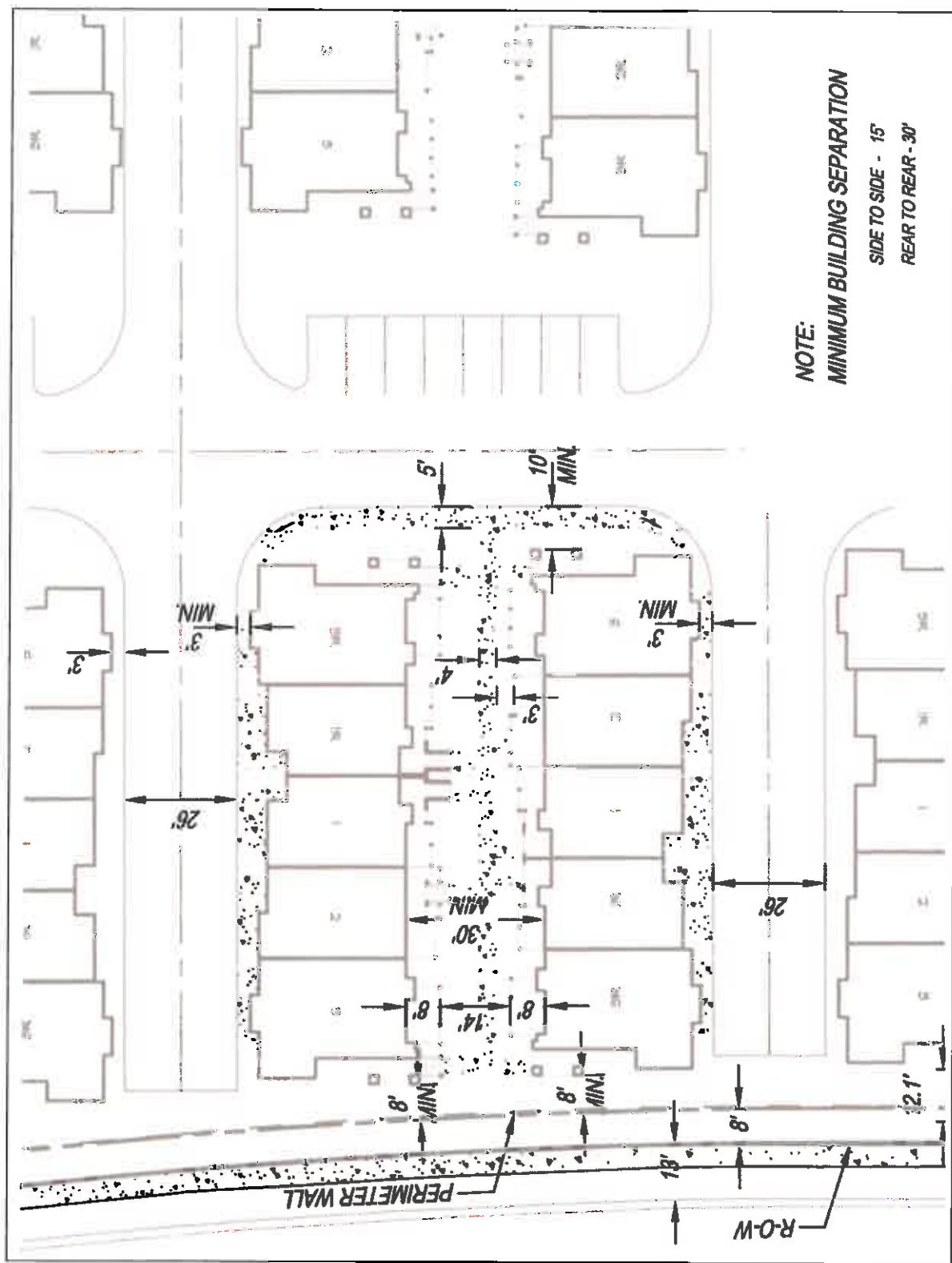
- (c) Model home complexes and/or sales trailers, and associated parking facilities, landscaping, monumentation, and flags shall be permitted within residential planning areas, subject to administrative site plan approval by the City of Upland Planning Department.

All other uses not identified above shall require approval of a Conditional Use Permit by the City of Upland.

TABLE 4
RESIDENTIAL DEVELOPMENT STANDARDS

DEVELOPMENT STANDARD	ATTACHED RESIDENTIAL (20.0 DU/AC)	DETACHED RESIDENTIAL (12.4 DU/AC)
MINIMUM BUILDING SETBACKS		
Front to Front (Living Area to Living Area)	14 feet	7 feet
Front to Street (Building to R.O.W.)	15 feet	8 feet
Side to Street (Building to R.O.W.)	10 feet	8 feet
Side to Side (Building to Building)	15 feet	6.5 feet
Garage Door to Drive Court	3 feet	3 feet
Garage Door to Garage Door	32 feet	28 feet
Second Story Setback	1.5 feet	1.5 feet
PERIMETER SETBACKS		
Foothill Boulevard (Property Line to Building)	15 feet	8 feet
Monte Vista Avenue (Property Line to Building)	8 feet	N/A
11 th Street (Property Line to Building)	8 feet	10 feet
Dewey Way (Property Line to Building)	N/A	10 feet
San Antonio Creek Channel (Building to R.O.W.)	8 feet	10 feet
Interior Property Lines	N/A	3 feet
OTHER		
Maximum Building Height	45 feet	45 feet
Private Parking Requirement*	2 spaces per unit (plus 0.5 guest space per unit)	2 spaces per unit (plus 0.5 guest space per unit)
Private Recreation Center Parking	On-street parking within project	On-street parking within project
Private Open Space**	100 sq. ft. per DU	175 sq. ft. per DU
Architectural Projections/Mechanical Equipment***	3 feet	2 feet
* Private parking spaces are in the form of a garage. Tandem garages are allowed.		
** Porches and balconies may be included in this calculation.		
*** Any architectural feature that projects from the building and seeks to enhance the structure may encroach into the setback area provided that there is always 3 feet of clearance around the projection. Examples of architectural projections include, but are not limited to, pilasters, chimneys, pop-outs, belly bands, roofs, covered porches, etc.		

NOTE: Same development standards apply to the residential overlay.



Source: Madole & Associates, Inc.

Upland Crossing Specific Plan
 Upland, CA

Figure 17
 Typical Unit Plotting and Setbacks: Attached Residential



NOT TO SCALE



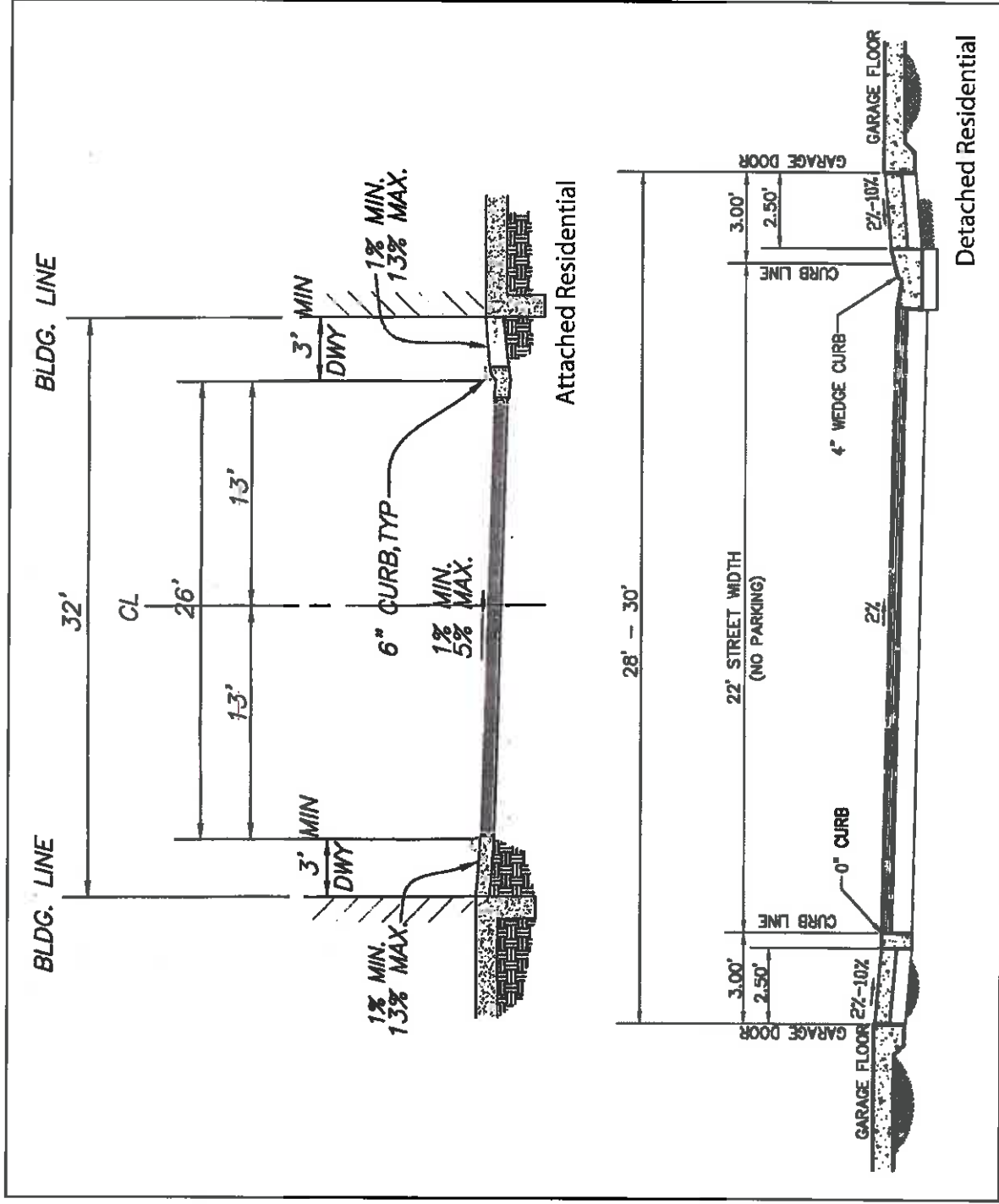
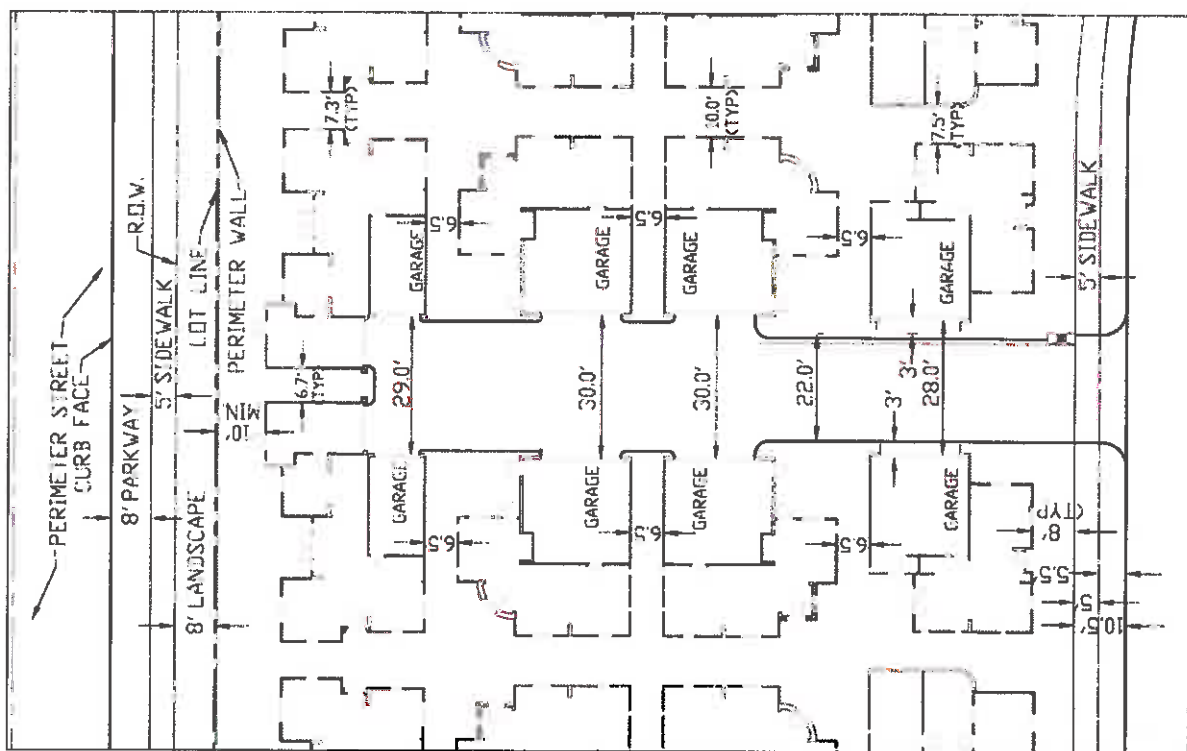


TABLE 5
PERMITTED AND CONDITIONALLY PERMITTED USES
(RESIDENTIAL)

LAND USE	ATTACHED RESIDENTIAL (20.0 DU/AC)	DETACHED RESIDENTIAL (12.4 DU/AC)
RESIDENTIAL		
Child Day Care	P	P
Home Occupations	P	P
Multi-Family Housing	P	P
Residential Accessory Uses and Structures	P	P
Single Family Homes	P	P
Temporary Dwellings	P	P
Construction Trailer		
Construction Guard Facility		
Three (3) Story Residential Product	P	P
RPUD	C	C
RPDS	C	C
EDUCATION, PUBLIC ASSEMBLY, AND RECREATION		
Residential Recreation Facilities	P	P
COMMUNICATION FACILITIES		
Wireless Facilities	C	C
Satellite Dishes/Antennas	P	P

SYMBOL	APPLICABLE PROCESS
P	Permitted Use by the City of Upland
C	Conditional Use – approval required by the City of Upland
“Blank”	Use not allowed

NOTE: Same uses apply to the residential overlay.



Source: California Pacific Homes

Upland Crossing Specific Plan Upland, CA

Figure 18
Typical Unit Plotting and Setbacks: Detached Residential

**TEMPLETON PLANNING GROUP**

IV. DESIGN GUIDELINES

A. PURPOSE AND INTENT

The Upland Crossing Design Guidelines provide a general framework for architecture, landscaping, entry monumentation, and signage in order to ensure a high-quality development. The overall goal of the Upland Crossing Design Guidelines is to create a development that will build a strong character for the area and provides an aesthetically pleasing gateway for the City of Upland. These guidelines are intended to provide criteria for design, while allowing flexibility for architects, landscape architects, developers, builders, and others involved in the development of the Upland Crossing Specific Plan. Through collaboration and cooperation between the master developer, the builder(s), and the City of Upland, the development of the Upland Crossing Specific Plan is destined to be a successful and desirable addition to the Upland community. These Design Guidelines are in addition to the existing City Design Guidelines, to the extent reasonably possible to accomplish the goals of this Specific Plan and City of Upland.

The specific objectives of the Design Guidelines are to:

- Provide guidance to builders, engineers, architects, and landscape architects, and other professionals in order to obtain the desired design quality envisioned for the Upland Crossing Specific Plan by the master developer and the City of Upland;
- Provide the City of Upland with the necessary assurances that the Upland Crossing Specific Plan will be developed in accordance with a certain design quality and character as set forth in this document;

- Provide guidance to City staff, the Planning Commission, and the City Council in the review of future development projects in the Specific Plan area;
- Reinforce a design theme through the creation of an internal circulation system, an interconnected network of pedestrian focal nodes, plazas, and public spaces unified by an alluring hardscape and landscape theme;
- Emphasize internal continuity among the four planning areas in the Upland Crossing Specific Plan area;
- Maintain sensitivity to adjacent uses through adherence to these design guidelines by establishing setback, building orientation, signage, and lighting guidelines; and
- Provide design guidelines which permit the Upland Crossing Specific Plan area to develop its own theme and character while allowing it to interface with and respond to the character and design fabric of adjacent areas.

The Design Guidelines are intended to be flexible and work in concert with the Development Standards contained in Section III of this document. However, it is critical that these guidelines are followed in a manner consistent with the established design theme in order to create a unified concept while providing the opportunities for diversity and visual interest, which are so apparent in the most successful developments in southern California.

This Specific Plan document recognizes that the development of the Upland Crossing Specific Plan area will play a vital role and serve as a visual gateway into the City of Upland. This document and the design guidelines contained herein support the City's planning concept and expands upon the goals outlined in the Upland General Plan for this site. Taking into account the unique project location, the remaining existing

uses, and the site's topographic and elevational differences, an overarching design concept has been consistently applied throughout the project to establish a unified development.

The photographs, sketches, and other graphic representations in these Design Guidelines are offered as general visual aids in understanding the basic intent of the design theme and its key implementing elements. The design components presented in this document are provided for informational purposes and are to be used in identifying the desired design composition for each Planning Area within the Upland Crossing Specific Plan. Design components are provided as a palette of character, materials, and colors defining elements that should be reflected in the residential and possible commercial-retail design proposals.

B. DESIGN THEME

The design fabric envisioned for the Upland Crossing Specific Plan will strive to support a wide array of architectural styles that reflect a blend of the traditional and contemporary built environment. The Upland Crossing Specific Plan is a project that will incorporate conditions appropriate for this growing community. The projected conditions of the area must be taken into consideration when implementing these Design Guidelines. The Design Guidelines provided by the Upland Crossing Specific Plan are encouraged for application to new structures, while providing general architectural, landscape, and hardscape treatments that will complement the future facilities and entire development area into a cohesive community.

C. ARCHITECTURAL DESIGN GUIDELINES

The purpose of establishing Architectural Design Guidelines is to establish the development criteria at the individual house level and possible commercial-retail level to assure a unified environment. The

intent is not to require rigid adherence to a particular architectural style on each and every structure or to limit the range of materials or colors used throughout. More correctly, these guidelines should be used to achieve continuity and establish a larger visual context.

The selection of an architectural style is meant to fulfill two specific goals. The first goal is to establish a sense of place within the City of Upland. This can be accomplished by utilizing two similar sets of architectural styles within which all structures, signage, and lighting will be complementary. Each set element of the project will thus have an identifiable relationship with the total designed environment. The second goal is to respond to the orientation and the warm semi-arid nature of the area. Attractive, durable high quality materials with sensible attention to maintenance will be used. The following is a description of the architecture proposed for the project site.

1. COMMERCIAL-RETAIL WITH RESIDENTIAL OVERLAY - PLANNING AREA 1

a. Architectural Style

A style highlighting the historical significance of the area is anticipated for the overall architectural theme in the possible commercial-retail portion of the Upland Crossing Specific Plan area. All buildings in Planning Area 1, whether inline or freestanding, shall utilize elements complementary to the selected style, while encouraging creative and unique designs in order to provide variation and aesthetic interest in the Upland Crossing Specific Plan. Conceptual elevations and images of the proposed architectural styles are provided on Figure 19.

b. Architectural Details

The architectural details listed below provide general design components that should be reflected in the design character of



Source: KTG

Upland Crossing Specific Plan
Upland, CA

Figure 19
Conceptual Imagery - Commercial-Retail



NO SCALE



Planning Area 1 of the Upland Crossing Specific Plan. If an alternate architectural style is selected, then design elements appropriate to that style shall be used.

- Articulation of building elements both vertically and horizontally;
- Accentuated entries;
- 6:12 to 12:12 roof pitch with flat concrete tile;
- Dormer accents where appropriate;
- Warm, light to dark earth tone color palette; and
- Tower elements at entries and focal points.

c. Building Orientation

The orientation of buildings within a project of this scale will play an important role in the successful design of the Upland Crossing Specific Plan. From a site planning perspective, Foothill Boulevard has been identified as a high visibility area. This location is prominent, but reflects a strong statement about the character of the Upland Crossing Specific Plan community. Therefore, the design of commercial-retail uses should provide defined entrances and entry access points that are easily located from a distance by pedestrians and/or vehicular traffic.

d. Building Design, Form and Mass

1. Architecture should be comprised of simple and distinct masses. Masses should be expressed with clean, sharp edges and corners. A simple hierarchy should be established among the various masses;
2. Architectural elements and accessories should be provided on the building mass, including but not limited to, arcades, balconies, towers, colorful banners, and decorative lighting features;

3. Building materials should be durable and convey a sense of permanence. The textural and material quality of a building's facade is important. Traditional materials including stone, brick, concrete, precast concrete, metal, block, and stucco should be used creatively to provide a sense of permanence;
4. Buildings should project a positive public image, enhancing the function and aesthetics of the project by integrating buildings with landscape and/or structural elements;
5. Provide variation in plan, form, and function of buildings, which will result in adjacent spaces both inside and out through the uses of recesses, pop-outs, positioning, and relationships of buildings;
6. Avoid monotony and repetition in building elevations and the street scene by varying building heights, massing, and rooflines, design elements, color, texture and materials, building placement, and landscape;
7. Avoid long, uninterrupted building planes by designing in smaller components, varying massing and/or facade treatments as a series of individual units, providing overhangs or shadow elements for shade and interest; and
8. Articulate all building elevations that are visible from public or private streets, providing visual interest with window patterns, size, and placement, and integrate overhangs and other external elements into the overall building design.

e. Parking/Vehicular Circulation Guidelines

1. Adequate areas for maneuvering, loading, and emergency vehicle access should be accommodated on site; and
2. Parking areas should be arranged to minimize conflicts with commercial loading activities. Commercial loading should generally be located to the side and rear of buildings.

f. Service, Loading, and Equipment Areas

1. Storage for supplies, merchandise, equipment, and similar materials are not permitted outside the buildings;
2. Service, loading, and storage areas should be separated from pedestrian and private automobile circulation;
3. Service areas, loading docks, and equipment areas should be screened from views either by locating these uses within a building or by screening them with landscaping, walls, fences, or other architectural treatments; and
4. All utility equipment, mechanical equipment, tanks, ducts, transformers, downspouts, and other similar equipment should be screened from view from all pedestrian, vehicular (where appropriate), and open space vantage points and should be graffiti- and vandal-resistant.

g. Walls and Fencing

1. Walls, except for walls used to enclose loading docks and trash enclosures, should not be more than six (6) feet in height. They should be constructed of light colored stucco,

concrete, or masonry. Fences should be used only as part of gated areas or as an extension of walls;

2. Chain-link fencing with barbed wire, large blank and flat wall surfaces, and exposed untreated concrete block walls shall be prohibited; and
3. Walls, fences, and gates should complement the adjacent architecture and be accented with pilasters. All block walls should be constructed with decorative block.

h. Outdoor Lighting

Lighting must be considered with the architectural theme as well as for safety purposes. Lighting fixtures and standards can define the quality appearance of developments and help identify focal areas. As a basic guideline, lighting should comply with the City of Upland Zoning Code, as well as the following:

1. All outdoor lighting, including spotlights, floodlights, electrical reflectors, and other means of illumination for signs, structures, landscaping, parking, loading, unloading, and similar areas should be focused, directed, and arranged to prevent glare and illumination on streets or adjoining property;
2. Low intensity, energy conserving night-lighting is preferred;
3. No freestanding lighting fixtures should exceed 36 feet in height except in parking lots;
4. Service area lighting should be contained within the service yard boundaries and enclosure walls. No light spillover

shall occur outside the service area. The light source shall not be visible from the street;

5. No specific design is prescribed and variations in treatments should be allowed; however, light fixtures and standards should be coordinated throughout the Upland Crossing Specific Plan community;
6. Parking lot lighting should provide adequate illumination for the safety of visitors while minimizing glare into adjacent property and uses;
7. Energy conservation, safety, and security should be emphasized during the designing and siting of project lighting;
8. Light standards should blend architecturally with buildings, pedestrian areas, other hardscape elements, and street furniture;
9. Parking areas should use lighting standards and fixtures that are consistent with and a continuation of the character of the project site's structures; and
10. Exposed neon tubes in signage should not be permitted and should be hidden from view.

i. Refuse Containers and Storage

1. Refuse enclosures and equipment should be easily accessed by service vehicles with enclosures and equipment located within a building's facade or within a screened enclosure. The enclosure's design should reflect the architectural style of adjacent buildings and use similar, high-quality materials. Landscaping or trellis work should screen

enclosures visible from a street or connecting walkway and should be permanently maintained;

2. Trash enclosures should be located away from residential uses to minimize nuisance to adjacent properties; and
3. Cart storage areas should be integrated within the initial building and site design.

j. Property Owners Association

A master property owners association (POA) shall be created for Planning Area 1 in order to preserve and enforce the goals and objectives of this commercial development and the City of Upland. The POA shall be responsible for the maintenance of all buildings, onsite utilities, common areas and perimeter landscaping within Planning Area 1. The POA shall process a full set of CC&R's, which are not part of this Specific Plan document, through Community Development Services and the City Attorney's Office in conjunction with the processing of the project's final map.

*Note: If the residential overlay is exercised, the design guidelines of the following Attached Residential- Planning Area 2 will be in effect.

2. ATTACHED RESIDENTIAL – PLANNING AREA 2

Residential dwelling units within Planning Area 2 of the Upland Crossing Specific Plan will consist of attached residential product. One of the goals of the Upland Crossing Specific Plan is to create a high quality infill residential development that provides a variety of homes and lot types. Planning Area 2 will meet this goal by incorporating several home and lot styles, a diversity of architectural style, smooth transitions between structures, and enhanced neighborhood hardscape and landscape features. Upon completion, the attached residential area should encourage neighborhood interaction and integration within the overall development of the Upland Crossing Specific Plan area.

It is the intent for all residential architecture to achieve a high level of quality in building function and visual appearance, assure variety and compatibility in architectural character, and to enhance the community's overall value. The goal is to promote these qualities in conjunction with the landscape and site planning by using heritage styles combined with modern technology and architectural innovation to provide a pleasant, livable community.

a. **Architectural Style**

The architectural styles for Planning Area 2 will be characterized by specific style elements that are addressed in detail in this section. A

sampling of elements is required in order to appropriately represent the designated architectural style; however, not all of the styles are required. Additional styles are allowed, if approved by the City of Upland Planning Department. A Maximum of 45% and a minimum of 15% of any one approved style shall be used in Planning Area 2.

Another important goal of the Upland Crossing Specific Plan community is to develop varied and interesting street scenes. In order to achieve this goal, an architectural palette has been selected that represents the following selected architectural styles for Planning Area 2:

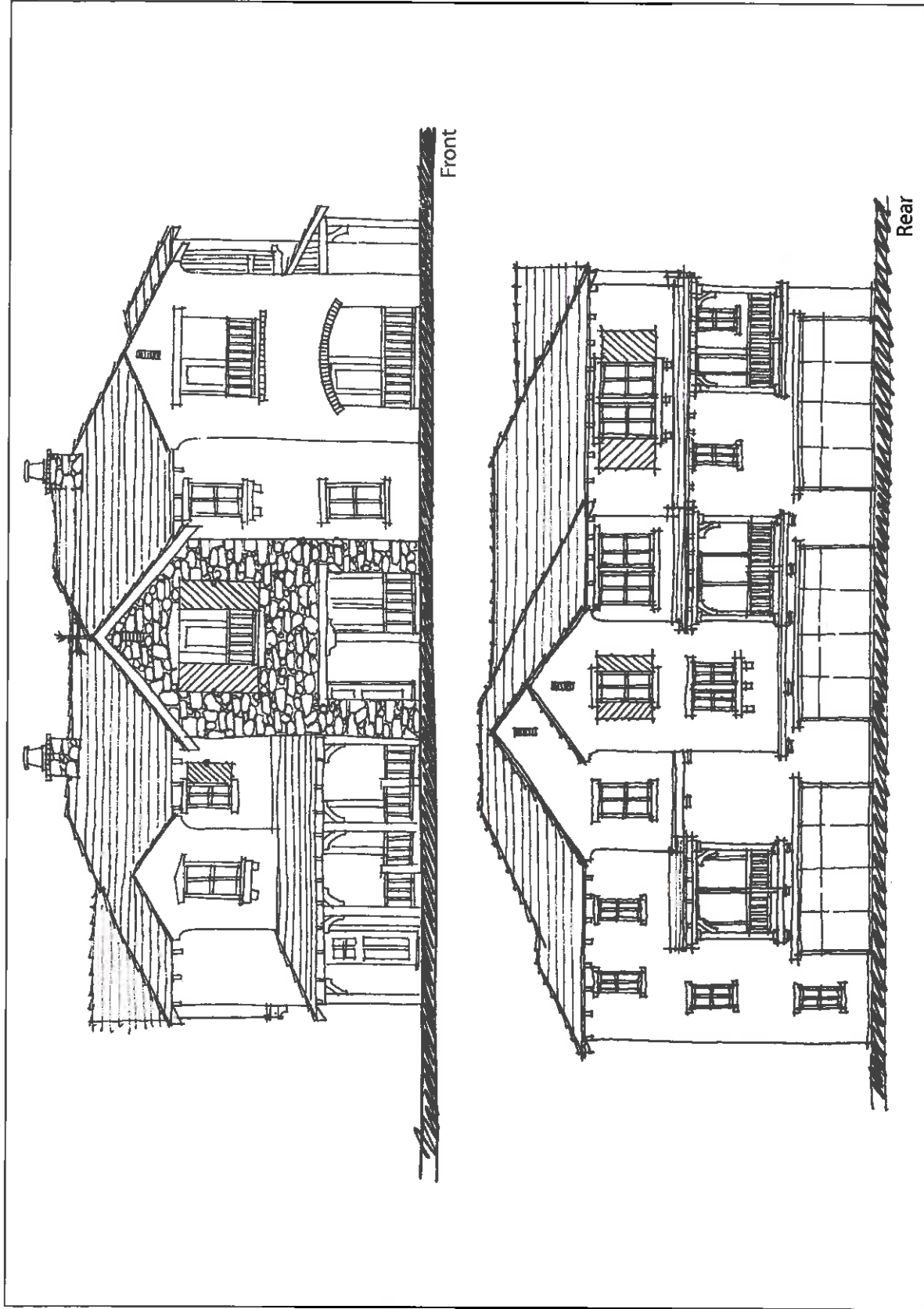
- ☐ French Country
- ☐ French Provencal
- ☐ French Chateau

1. **French Country**

The design features of French Country architecture are summarized in the following Table 6, and are conceptually shown on Figures 20 and 21.

TABLE 6
FRENCH COUNTRY DESIGN

ELEMENT		MINIMUM REQUIREMENTS
FORM		Asymmetrical 1 and 2 story multiple planes
ROOF		7:12 to 12:12 roof pitch - Hip or gable roof on main body 0" to 18" overhang. - Concrete flat tile or slate with variegated or blended colors - Roof with clay barrel tile ridge and hips
WALLS		- Sand or smooth stucco finish - Stone veneer
WINDOWS		- Vertical multi-pane - Principle windows recessed
DETAILS		- Stone and brick veneer accent on walls - Dormers - Shutters on front elevations - Heavy timber post and beam at porch or balcony - Covered entry, porch - Balconies with wood rails - Wood pot shelves
COLORS		Mid-valve hues for body with wood-toned trims
TYPICAL ELEVATION		Refer to Figure 20.



Source: KB Home

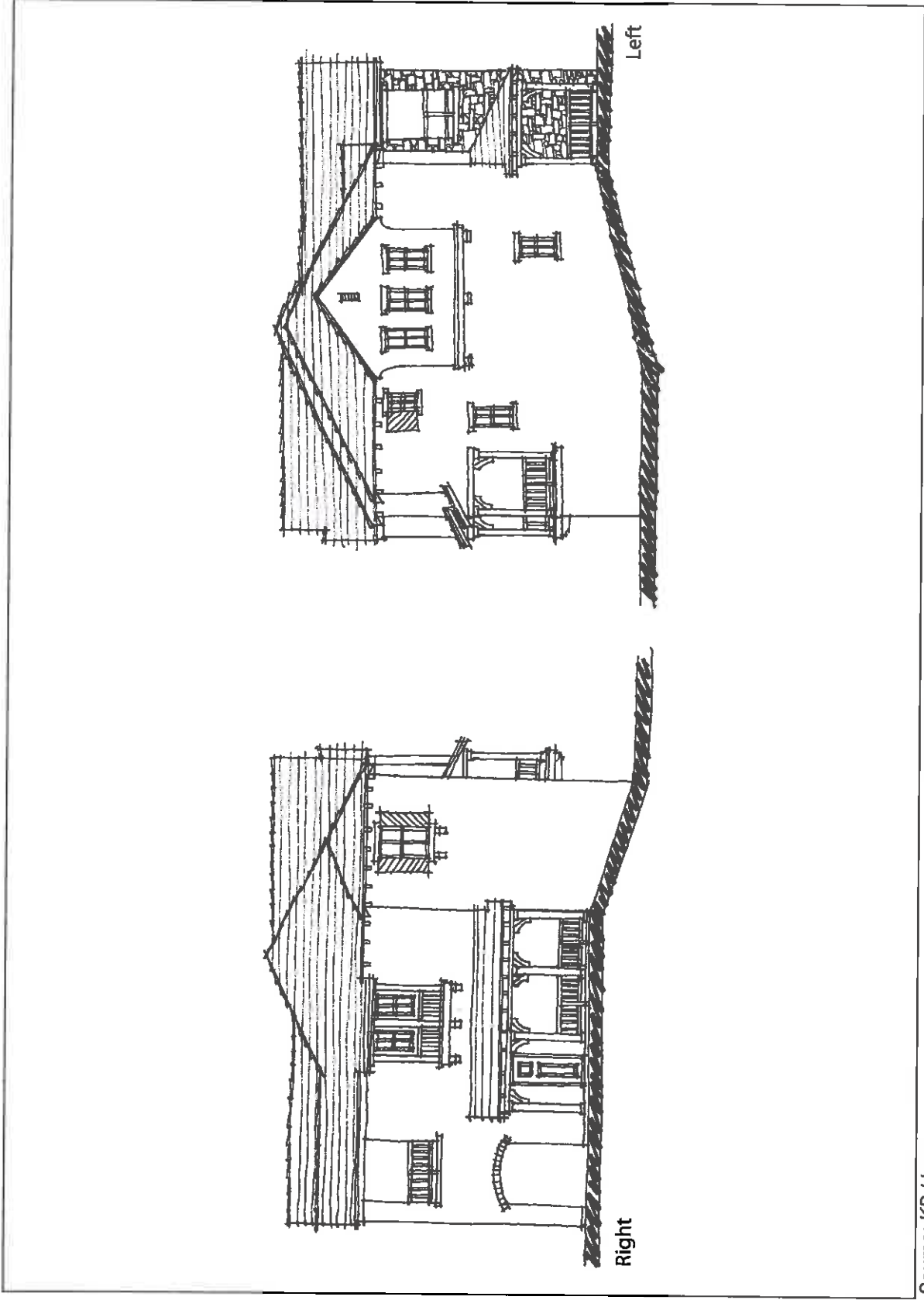
Upland Crossing Specific Plan
Upland, CA

Figure 20
Conceptual Imagery - French Country Architectural Style



NOT TO SCALE





Source: KB Home

Upland Crossing Specific Plan
Upland, CA

Figure 21
Conceptual Imagery - French Country Architectural Style



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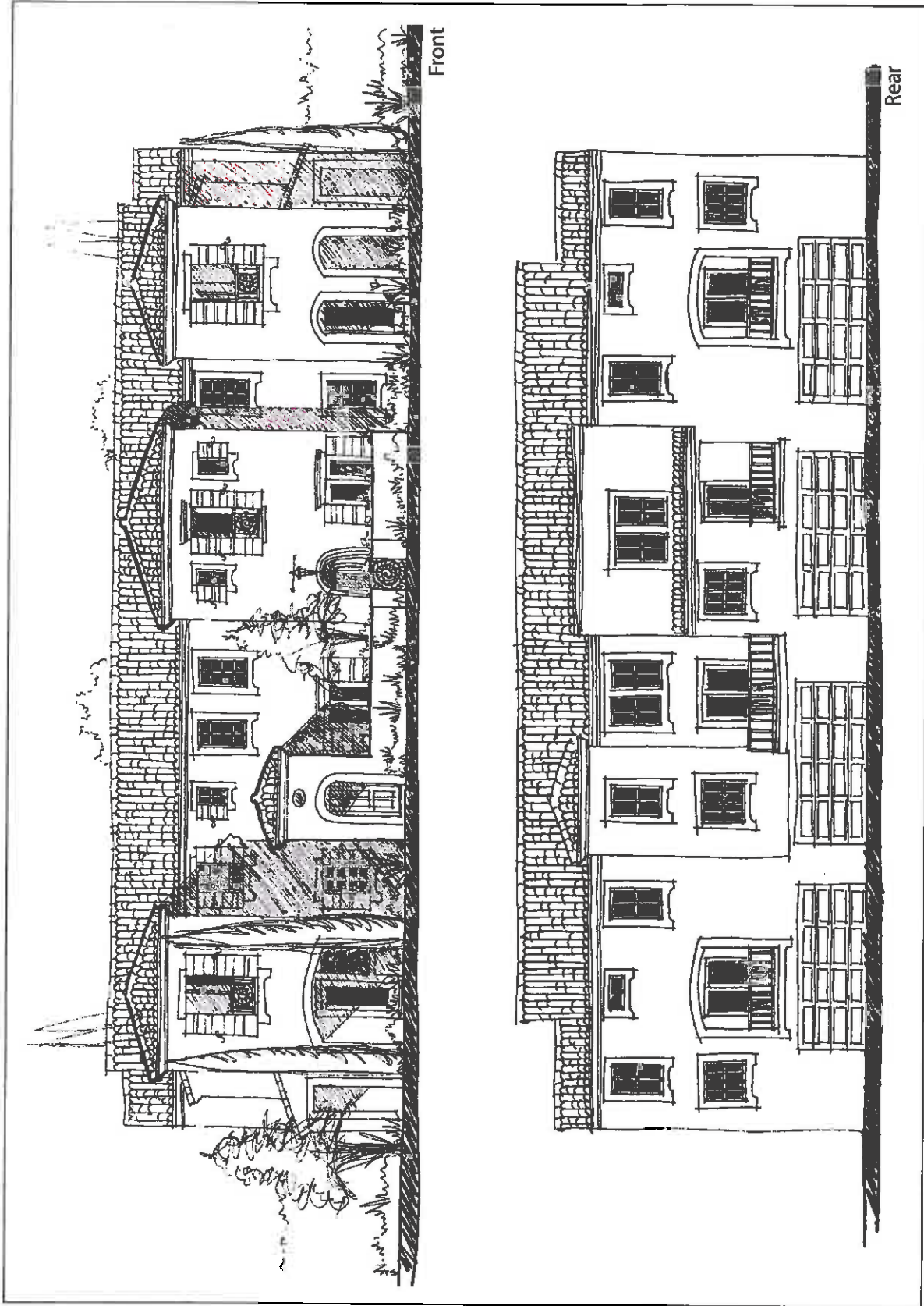
2. French Provencal

Country design previously described, and will add variety to the street scene. These architectural elements are summarized in the following Table 7, and are conceptually shown on Figures 22 and 23.

The French Provencal design features are complementary to the French

TABLE 7
FRENCH PROVENCAL DESIGN

ELEMENT	MINIMUM REQUIREMENTS
FORM	• Simple massing / stacked upper floor with lower floor • Predominantly symmetrical composition • Tower elements / porch elements / single story edge for articulation variation
ROOF	• 4:12 to 6:12 principal roof – 3:12 allowable for porch / portico • chere / shed conditions – at single story location • Mixed hip and gable forms • Front to back main form – hipped or gabled attachments • Concrete barrel tile roof • Equals either enclosed with built-up detail or open 0"-12" overhangs • Eaves faced elements
WALLS	• Smooth or sand finish • Smooth finish or precast for all trim elements
WINDOWS	• Multiple pane windows • Rectangular shaped feature windows • Recessed windows where appropriate
DETAILS	• Plank shutters with wrought iron hardware • Wrought iron rail detail – decorative at balconies, gates, windows • Durable materials will be used for window and door trims • Rounded arches and doorways • Simple stucco elements
COLORS	• Warm and light to mid value hues, bright accent colors for shutters, light trims
TYPICAL ELEVATION	Refer to Figure 22.

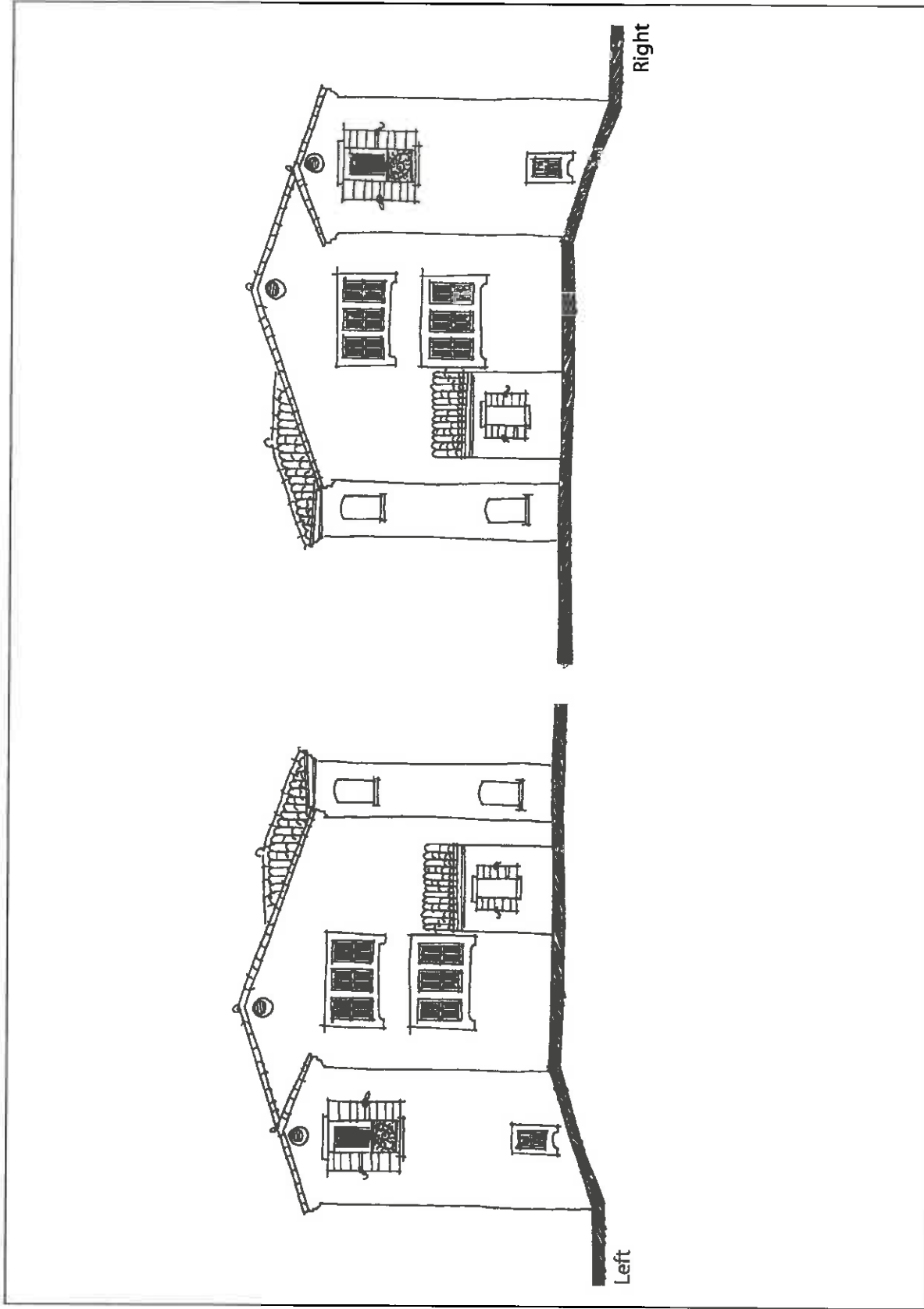


Source: KB Home

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Figure 22
Conceptual Imagery - French Provencal Architectural Style





Source: KB Home

Upland Crossing Specific Plan
Upland, CA

Figure 23

Conceptual Imagery - French Provencal Architectural Style



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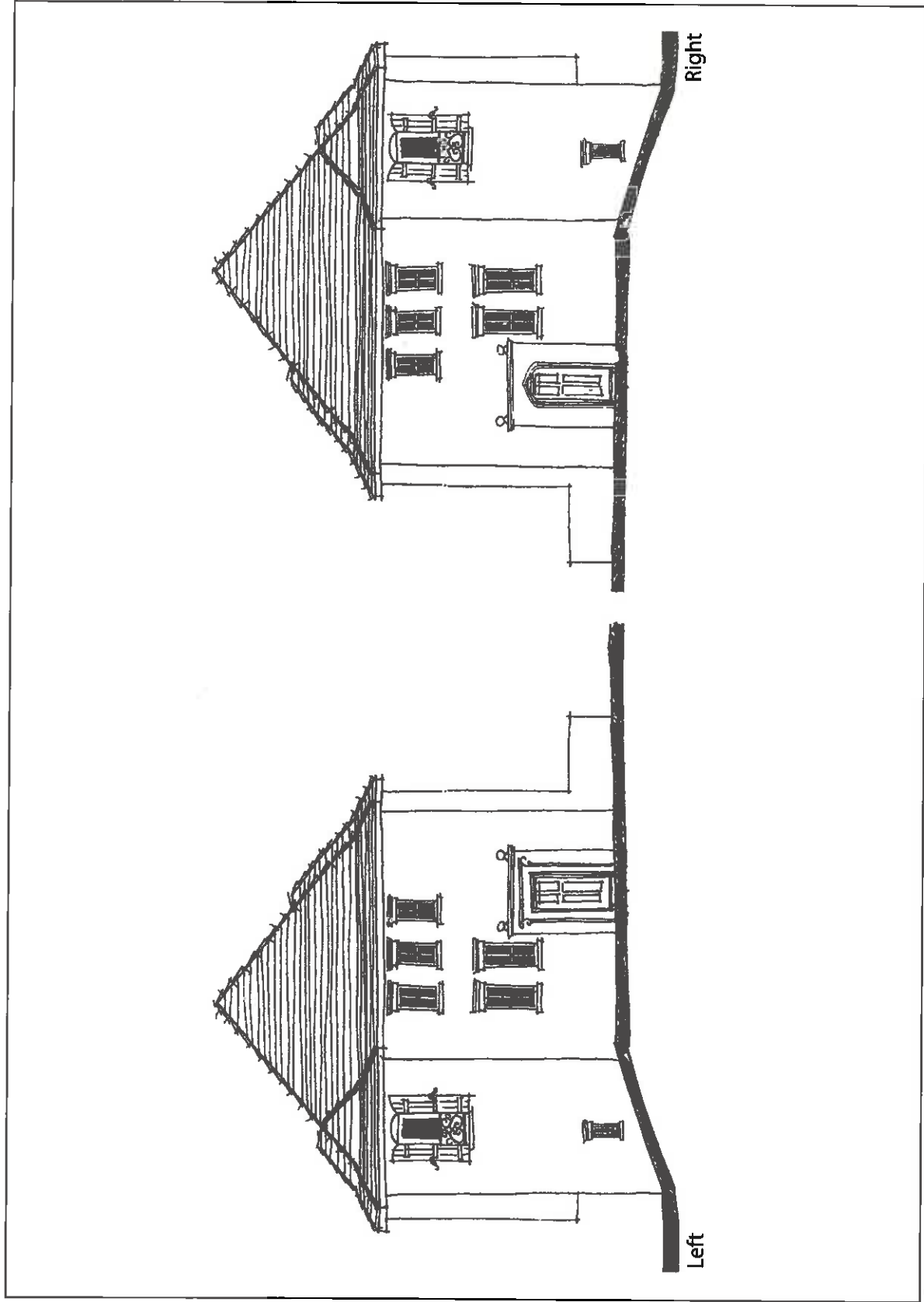
3. French Chateau

The French Chateau design features provide a whimsical, castle-like influence to the Upland Crossing Specific Plan area. This third

architectural style will provide Planning Area 2 with a cohesive design and strong project identity with the use of similar design themes. Table 8 summarizes the French Chateau design elements and is conceptually shown on Figures 24 and 25.

TABLE 8
FRENCH CHATEAU DESIGN

ELEMENT		MINIMUM REQUIREMENTS
FORM		2-story stacked massing with vertical emphasis and tower elements
ROOF		- Steeply pitched hip roofs of varying heights 6:12 – 12:12 roof pitch - Flat concrete tile or slate-look blended - Tight to 12" overhangs
WALLS		Smooth stucco or sand finish
WINDOWS		- Vertical windows, often grouped in twos - Multiple paned windows at front - Principle windows deeply recessed - Wrought iron treatment at windows
DETAILS		- Smooth or pre-cast stucco. Built-up trim surround at windows and doors - Wrought iron-looking coach lamps at entries - Plank shutters with wrought iron hardware - Entry door with minimum 24" recess and decorative and stately door surrounds - Door and window header trims to match - Tear drop stucco pot shelves 2nd story balconies / wrought iron rails - Wrought iron treatment at gates
COLORS		Mid to dark hues with similar tone trims and saturated dark shutters
TYPICAL ELEVATION		Refer to Figure 24.



Source: KB Home

Upland Crossing Specific Plan
Upland, CA

Figure 25
Conceptual Imagery - French Chateau Architectural Style



NOT TO SCALE



b. Plan and Style Requirements

1. Provide at least three (3) building plans per neighborhood, with the ability to reverse plot plans and vary placement or add elements to corner units;
2. Provide a minimum of two (2) individual unit plans per building. Individual unit plans may be repeated between building plans; and
3. Provide at least three (3) different, yet compatible color schemes for each neighborhood. Individual building colors should be selected from the color palettes selected for that style.

c. Building Orientation

Creating street scenes that function well and have visual interest are primary community objectives. The following basic elements and criteria are intended to develop variations in appearance and a sense of individuality for each home. Neighborhoods that have nearly identical homes and streets without variation in product placement and form will not be approved in the design review. This section lists architectural plotting techniques that work together to create a quality environment.

1. Buildings should relate appropriately to surrounding development and streets and create a cohesive visual identity for the neighborhood and street scene;
2. Public spaces should be clearly defined from private spaces through the use of building materials, grade separations, and physical separations such as fences, walls, or building enclosures;

3. Provide variation in floor plans, massing forms and elements on facades;
4. Design simple floor plans and building masses using the correct proportion and scale for the selected styles in mind.
5. Adjacent and facing residences having the same front elevations are prohibited. However, reversed footprints with variation in elevation design and color/material application are permitted; and
6. The upper story portion of elevations of all homes that back or side onto streets, recreation areas or other public space must include a variety of window treatments, roof projections, etc. to provide variety on these elevations.

d. Building Mass and Scale, Form, and Height

The roof forms and pitches and heights of various architectural elements should conform to the individual styles selected for Planning Area 2. The following guidelines should be followed:

1. No building shall exceed a height of two stories, with a loft or bonus. An architectural projection such as a chimney or tower may exceed the maximum building height, but shall not exceed a height of 45 feet;
2. Long, unbroken facades and box-like forms should be avoided. Building facades should be broken up to give the appearance of a collection of smaller structures;
3. To the extent possible, each of the units should be individually recognizable. This can be accomplished with the use of balconies, setbacks, and projections which help

articulate individual dwelling units or collections of units, and by the pattern and rhythm of windows and doors;

4. Elevations visible from public or private streets should be carefully articulated and large unbroken surfaces should be discouraged;
5. Emphasis should be placed on horizontal architectural lines including trim and fascia lines to make tall buildings appear wider;
6. Buildings should be designed to define outdoor spaces, with floor plans that have a logical and functional relationship between indoor spaces and outdoor areas; and
7. Single-story elements are encouraged on all buildings to establish pedestrian scale and add variety to the street scene.

e. Shade and Shadow – Building Relief

1. Project a front door image and access to the street front. Added articulation of end unit elevations is encouraged to achieve four-sided articulation;
2. Place and access garages from drive courts to separate pedestrians from vehicular areas;
3. Provide front porches where style appropriate and possible to accomplish stepped massing and transition to public spaces;
4. Vary setbacks on building elements/facades; and
5. Roof pitch should be authentic to the architectural style.

f. Roofs and Chimneys

1. A variety of roof styles should be permitted, including hip, gable, and shed. The roof design should follow the wall planes and roof pitch should be consistent with the architectural style. Flat roofs shall be prohibited;
2. Roofs should be constructed of non-combustible materials. Acceptable materials include clay or concrete tile. Unacceptable materials include pressed wood, corrugated fiberglass, asphalt roll roofing, and corrugated metal;
3. Roofing trim materials should be of similar materials and complementary colors. Roof vents and appurtenances should be painted to match either the body or trim of the building;
4. Roof overhangs should be typical of the architectural style and should be designed as an integral part of the roof form. Awnings shall be permitted if true to the architectural style; and
5. Fireplaces are typically gas appliances, not wood-burning, and therefore, chimneys are not required in a functional sense. Chimneys may be included as an architectural element. If included, they shall be constructed of veneer or stucco.

g. Entries and Windows

1. Window pediments, small roof elements, overhangs, and projections over windows, doors, and garage doors should be incorporated into the architectural detailing; and

2. A variety of window and door treatments should occur. French doors, dormer windows, and decorative shutters should be incorporated into the building design.

h. Balconies and Porches

1. Balconies and porches should be used to articulate and reduce mass, as well as to provide shadow relief. Where architectural style and density are appropriate, stoops may be used instead of porches;
2. Porches, balconies, and trellis structures should be compatible with the overall architectural theme, style, and design of the structure; and
3. Materials used to construct balconies and porches should be appropriate to the designated architectural style. Where balconies are proposed, facades should vary in size and plane.

i. Details

1. Potshelves, pilasters, and brick and tile accents are encouraged around doors, windows, and entries, particularly near front and side entries that are easily visible from the street;
2. Low and high walls should be used to define courtyards, patios, and entries;
3. Mechanical equipment such as gas meters and air conditioning and heating units should be screened from public view, either by landscaping, fences, and walls, or combination thereof; and

4. Rain gutters, downspouts and other architectural elements constructed of sheet metal should be painted with complementary colors to the building, either matching the color of the trim, fascia or stucco, depending on its location.

j. Materials and Colors

The colors and materials used in Planning Area 2 of the Upland Crossing Specific Plan should reflect a general theme of warm, sunwashed colors that are in harmony with the surrounding region's environment and support the community's French character. The architectural style palette selected for this community contributes to this goal as they all share this warm, earthy use of materials and colors that are indigenous to the region. Stone and other veneers that are indigenous to the architectural style should be used.

A variety of natural looking materials and colors will provide the diversity required for visual interest while supporting the community character and creating a timeless appeal. The primary purpose of the architectural color palette selection is to avoid monotony, provide a variety of colorful schemes and promote visual diversity. To further this goal of diversity, the following criteria shall be met:

1. Individual color schemes must be appropriate to the architectural styles with a harmonious selection of accent materials, roof profiles and colors;
2. A minimum of two color schemes shall be provided for each building;
3. Each building shall have a minimum of three colors: body, trim, and accent;

4. Each defined color scheme shall include a different roof color per building; and

5. No adjacent building shall have the same color scheme.

k. Garage Doors and Driveways

1. Garage doors should be of complementary colors, textures, and materials used on the front building elevation; and
2. Automatic, sectional, roll-up garage doors shall be required.

l. Garage Placement and Treatment – Drive Court

The home and front yard should be the primary focus of the front elevation. All garages in Planning Area 2 will be accessed at the drive court in order to create an attractive street scene.

m. Garage Types

1. **Drive Court Garage:** This garage type allows the resident to enter their garage through the drive court, thereby eliminating the front-facing garage and driveway.

n. Lighting

1. All street lighting shall be nostalgic luminaire post top light fixtures, also referred to as decorative acorn-shaped SCE street lights, as shown on Figure 26. All street lighting shall conform to City standards or an approved theme lighting program, and shall be approved by the City Engineer.

o. Homeowners Association

A master homeowners association (HOA) shall be created for Planning Areas 2 and 3 in order to preserve and enforce the goals and objectives of this residential development and the City of Upland. The HOA shall be responsible for the maintenance of all perimeter landscape, walls, lights, interior streets, onsite utilities and common areas within Planning Areas 2 and 3. The HOA shall process a full set of CC&R's, which are not part of this Specific Plan document, through Community Development Services and the City Attorney's Office in conjunction with the processing of the project's final map.

In addition, a separate HOA shall be created for Planning Area 2 which shall be responsible for building maintenance only. A POA shall be created for commercial-retail Planning Area 1.



3. DETACHED RESIDENTIAL – PLANNING AREA 3

Residential dwelling units within Planning Area 3 of the Upland Crossing Specific Plan will consist of detached residential product. Planning Area 3, like Planning Area 2 previously described, will incorporate several home and lot styles, a diversity of architectural styles, smooth transitions between structures, and enhanced neighborhood hardscape and landscape features. Upon completion, the detached residential area should encourage neighborhood interaction and integration within the overall development of the Upland Crossing Specific Plan area.

It is the intent for all residential architecture to achieve a high level of quality in building function and visual appearance, assure variety and compatibility in architectural character, and to enhance the community's overall value. The goal is to promote these qualities in conjunction with the landscape and site planning by using heritage styles combined with modern technology and architectural innovation to provide a pleasant, livable community.

a. **Architectural Style**

The architectural styles for Planning Area 3 will be characterized by specific style elements that are addressed in detail in this section. A sampling of elements is required in order to appropriately represent the designated architectural style; however, not all of the styles are required. Additional styles are allowed, if approved by the City of Upland Planning Department.

Another important goal of the Upland Crossing Specific Plan community is to develop varied and interesting street scenes. In order to achieve this goal, an architectural palette has been selected that represents the following selected architectural styles for Planning Area 3:

- ☐ Monterey
- ☐ Andalusian Farmhouse
- ☐ Santa Barbara
- ☐ Spanish Colonial

1. **Monterey**

The Monterey vernacular was derived in the late 1830's through the blending of the New England colonial house with Spanish adobe construction. The style borrowed the ornamental elements from colonial architecture and the simplicity associated with adobe construction. This innovative style used second floor balconies which were roofed to protect the adobe walls from the driven rain. The design features of Monterey architecture are summarized in the following Table 9, photographed on Figure 27A, and conceptually shown on Figures 27 and 28.

TABLE 9
MONTEREY DESIGN

MINIMUM REQUIREMENTS	
ELEMENT	
FORM	Typically front-to-back gable roof forms with second floor cantilevered and roofed balcony over front door.
ROOF	- Low pitched roofs 3 ½: 12 – 4:12 - Concrete “S” tile (various blends) - Tight to 9” overhangs
WALLS	Stucco with sand finish
WINDOWS	- Vertical windows - Divided lights all four sides - Some windows recessed
DETAILS	- Stucco trim at entries - Wood trim at windows - Louvered shutters - Themed exterior light fixtures at entries, pedestrian courts, and auto courts 2nd floor cantilevered, heavy timbered post and beam balconies
COLORS	Light to mid-toned wall colors with contrasting rich trim and accents
TYPICAL ELEVATION	Refer to Figures 27 and 28.

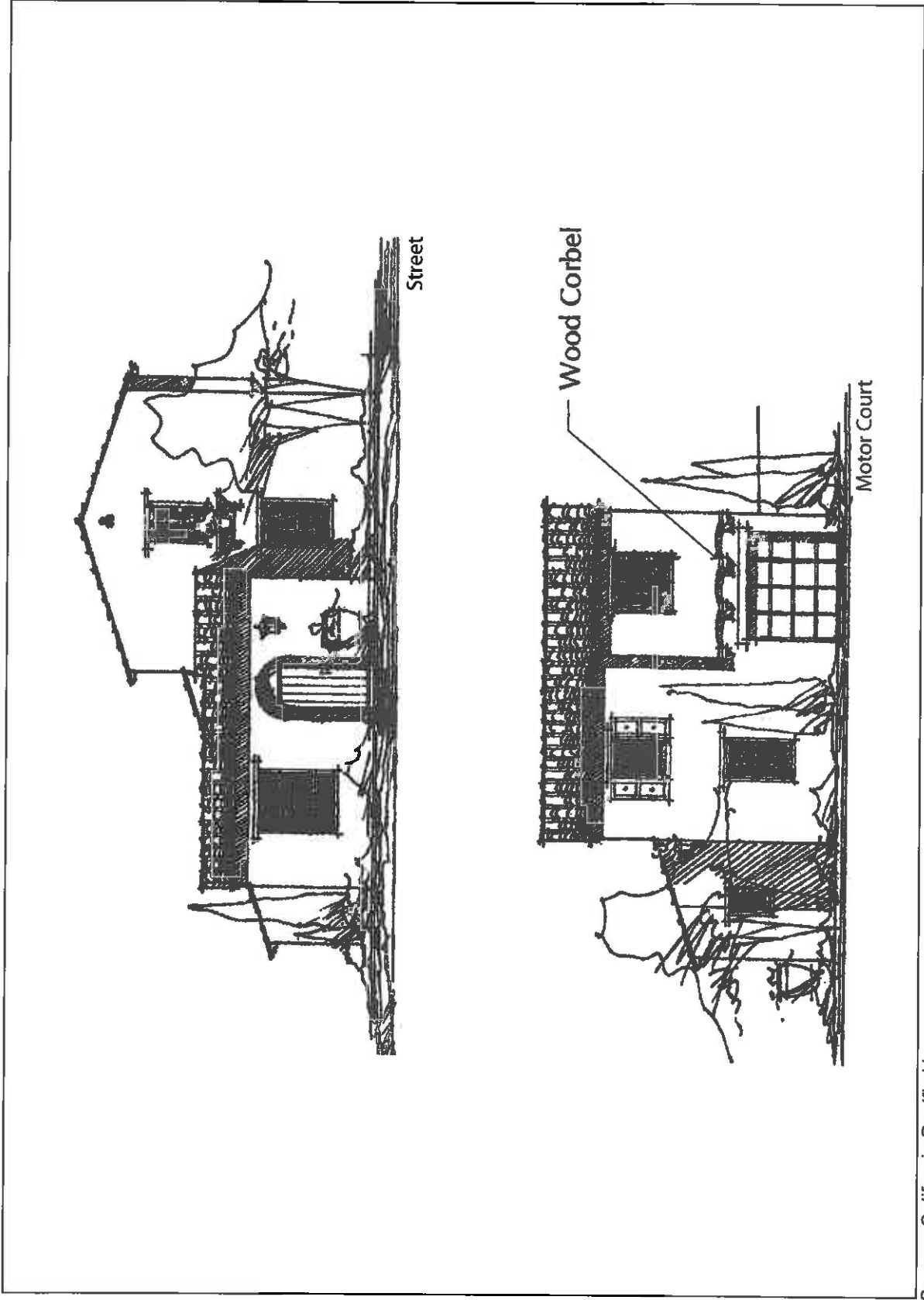


Source: California Pacific Homes

Upland Crossing Specific Plan
Upland, CA

Figure 27A
Monterey Architectural Style





Source: California Pacific Homes

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Figure 27
Conceptual Imagery - Monterey Architectural Style



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Window @
Enhanced
Elevation Only

Paseo

Rear

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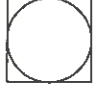
Figure 28

Conceptual Imagery - Monterey Architectural Style

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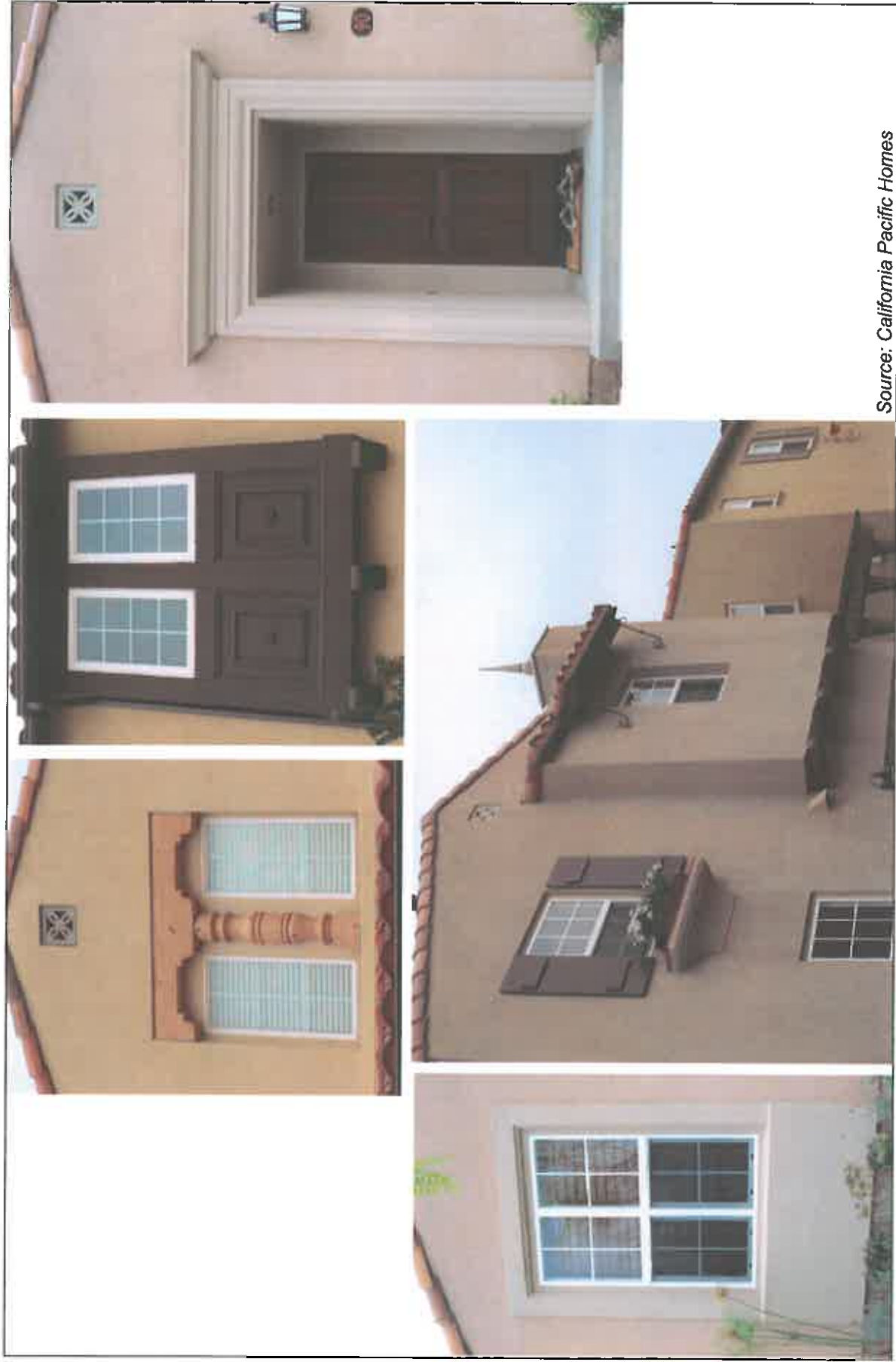
2. Andalusian Farmhouse

The Andalusian style originates from townships in the region of Southern Spain, which borders on the Atlantic and the Mediterranean Sea. The style is commonly found in the works of notable architects from California's Golden Age such as George Washington Smith,

Wallace Neff, Reginald D. Johnson, and Cliff May. The Andalusian style occasionally joined by Moorish influences has very appealing features as well as a palette of materials used such as stucco, two-piece clay tile, or one-piece concrete "S" tile, wood and wrought iron detailing. These architectural elements are summarized in the following Table 10, photographed on Figure 29A, and conceptually shown on Figures 29 and 30.

TABLE 10
ANDALUSIAN FARMHOUSE DESIGN

ELEMENT	MINIMUM REQUIREMENTS
FORM	Symmetrical and asymmetrical 1 and 2 story massing
ROOF	- Low pitched roofs 3 ½: 12 – 4:12 - Concrete "S" tile (various blends) - Tight to 9" overhangs
WALLS	Stucco with sand finish
WINDOWS	- Vertical windows - Divided lights all four sides - All windows recessed
DETAILS	- Precast trim at entries - Themed exterior light fixtures at entries, pedestrian courts, and auto courts - Wood trim at some windows - Plank shutters 2nd floor living spaces include cantilevers with stucco, wood trim, and corbel detailing - Stucco potshelves with tile pavers
COLORS	Light to mid-toned wall colors with contrasting rich trim and accents
TYPICAL ELEVATION	Refer to Figures 29 and 30.



Source: California Pacific Homes

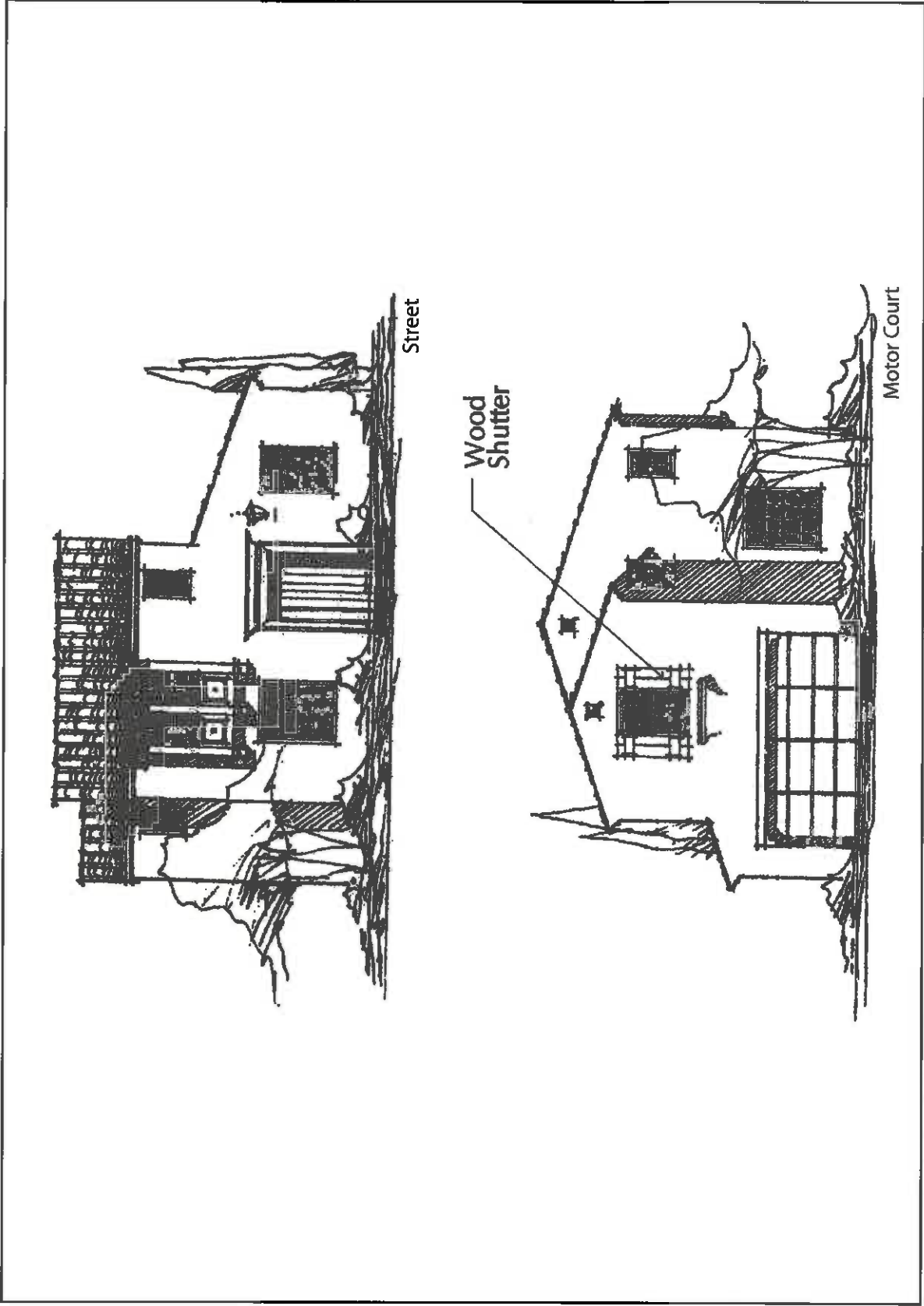
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Figure 29A
Andalusian Farmhouse Architectural Style



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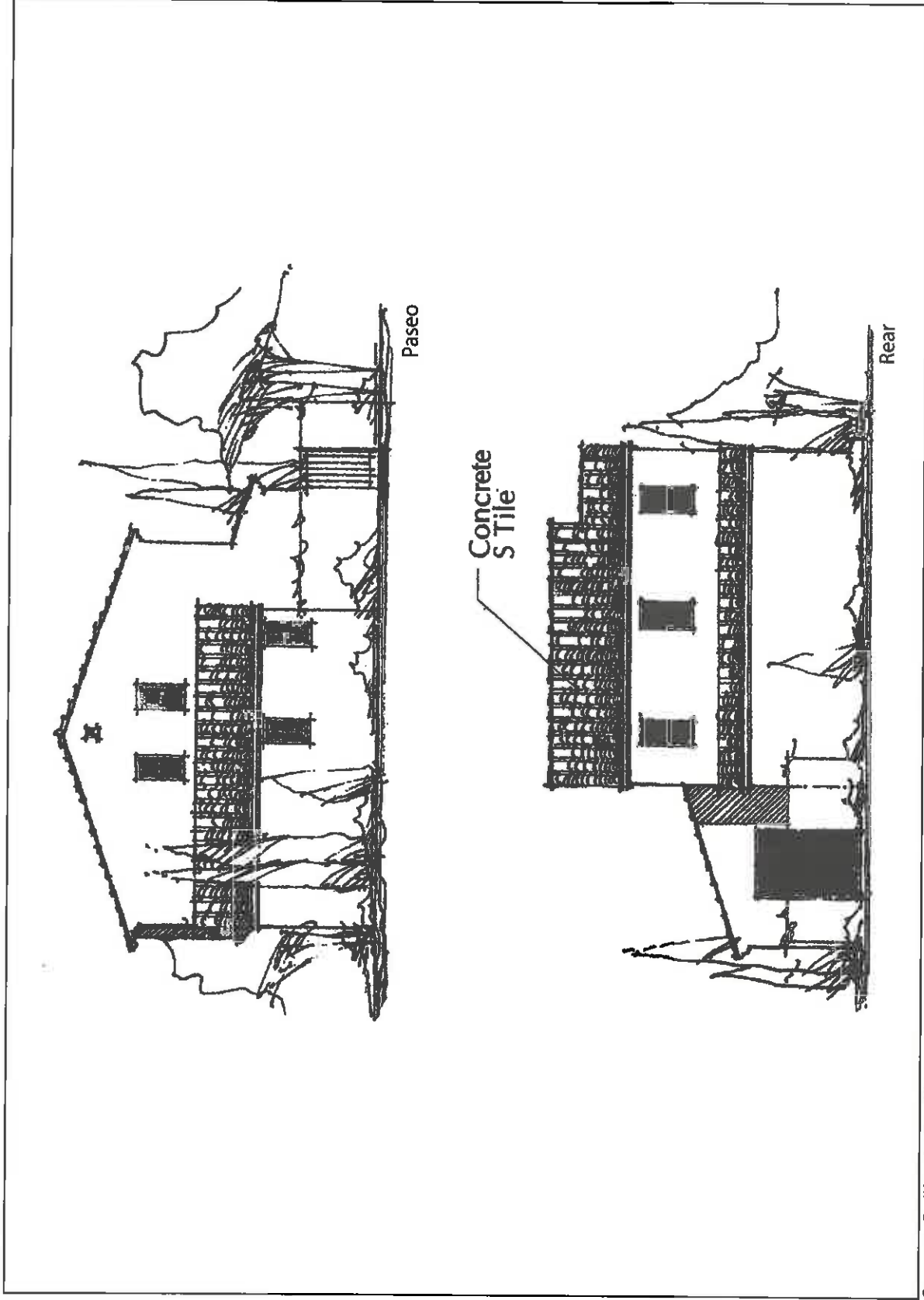
Source: California Pacific Homes

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Figure 29
Conceptual Imagery - Andalusian Farmhouse Architectural Style

NOT TO SCALE





Source: California Pacific Homes

Upland Crossing Specific Plan
Upland, CA

Figure 30
Conceptual Imagery - Andalusian Farmhouse Architectural Style



3. Santa Barbara

The Santa Barbara style is in reference to the Mediterranean and formal Spanish Revival styles built in the 1920's and 1930's around Santa Barbara. This style was heavily influenced by the works of George

Washington Smith, Reginald Johnson and Wallace Neff. This particular style employs decorative ironwork, Juliet Balconies and decorative patterned tiles. Table 11 summarizes the Santa Barbara design elements, Figure 31A shows the photographed elements, and Figures 31 and 32 show them conceptually.

TABLE 11
SANTA BARBARA DESIGN

ELEMENT	MINIMUM REQUIREMENTS
FORM	• Informal asymmetrical 1 and 2 story building forms
ROOF	• Low pitched roofs • 3 ½: 12 – 4:12
WALLS	• Stucco with sand finish
WINDOWS	• Informal asymmetrical placement of windows • Vertical windows
DETAILS	• Precast and stucco detailing in recessed entry • Stucco sill trim at windows • Louvered shutters
COLORS	• Light to mid-toned wall colors with contrasting rich trim and accents
TYPICAL ELEVATION	Refer to Figures 31 and 32.



Source: California Pacific Homes

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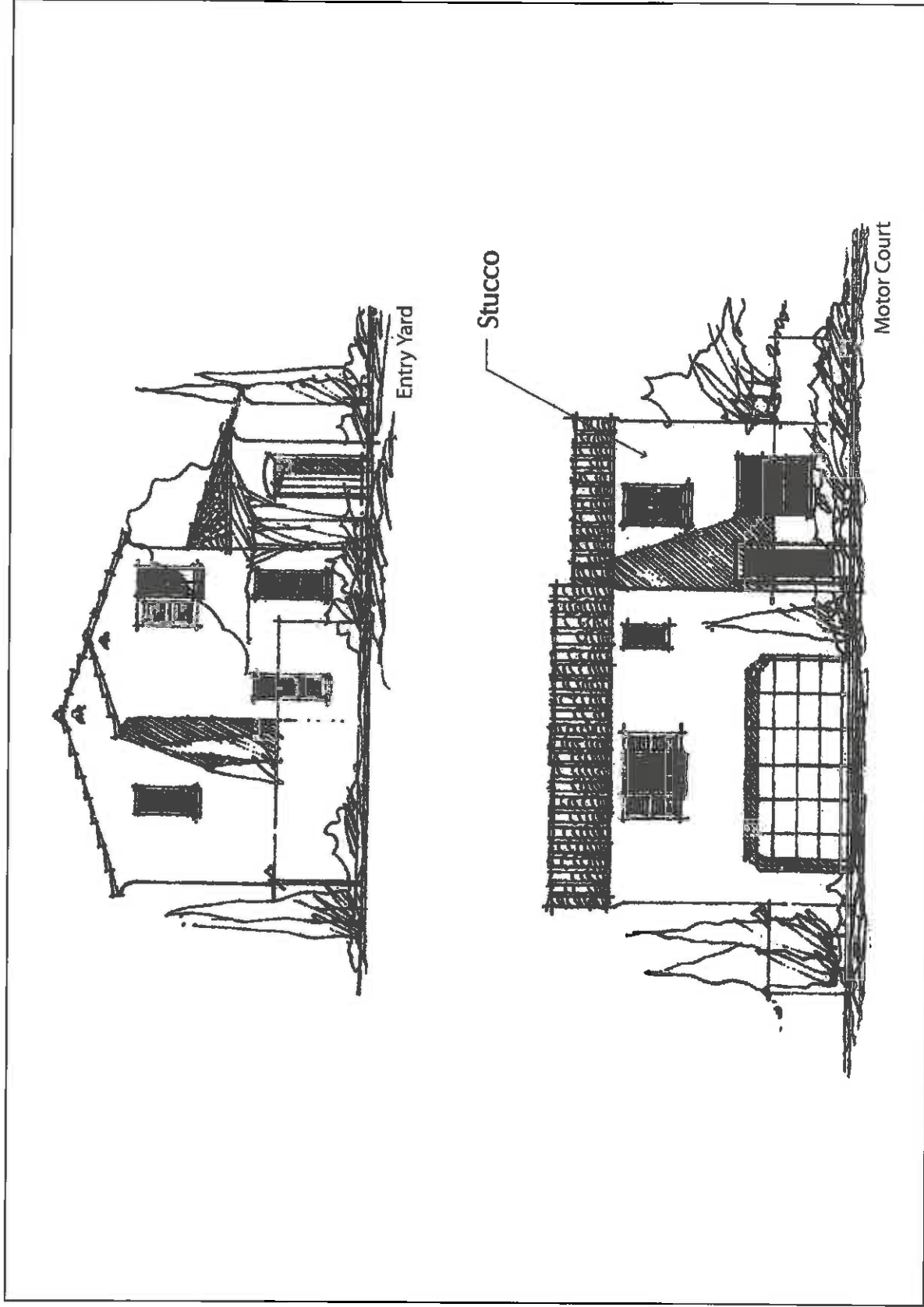
Figure 31A
Santa Barbara Architectural Style



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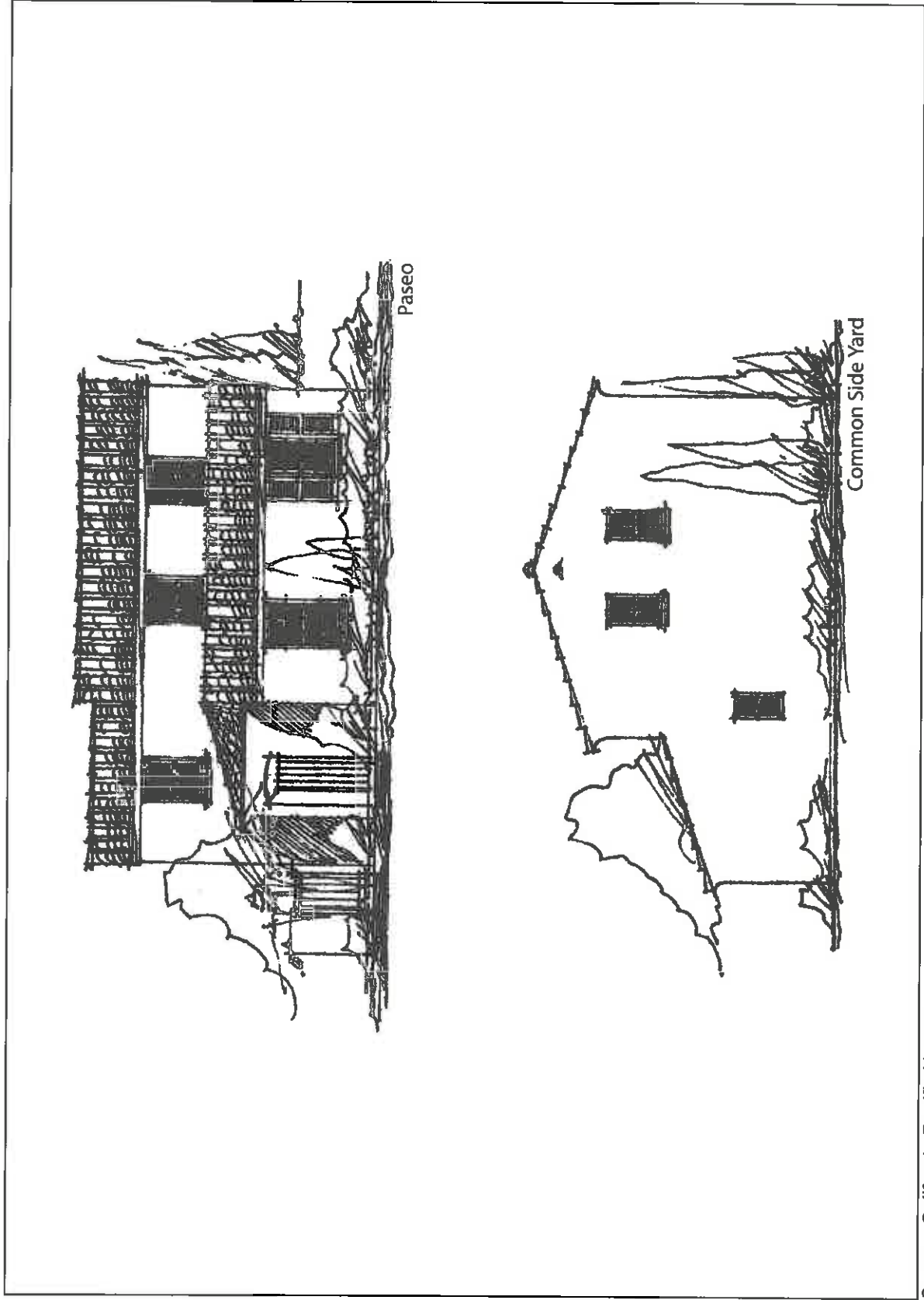


Source: California Pacific Homes

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Figure 31
Conceptual Imagery - Santa Barbara Architectural Style





Source: California Pacific Homes

Upland Crossing Specific Plan
Upland, CA

Figure 32
Conceptual Imagery - Santa Barbara Architectural Style

NOT TO SCALE



4. Spanish Colonial

The Spanish Colonial architectural style is a hybrid of Mediterranean styles, inspired by the use of arches, courtyards, plain plaster wall surfaces, recessed windows and barrel tile roofs. Architects using the Spanish Colonial style are inspired by numerous sources: the adobe

structures in California, late forms of Moorish architecture, medieval Spanish and Italian architecture and Pueblo and Mission styles. Table 12 summarizes the Spanish Colonial design elements, Figure 33A shows the photographed elements, and Figures 33 and 34 show them conceptually.

TABLE 12
SPANISH COLONIAL DESIGN

ELEMENT	MINIMUM REQUIREMENTS
FORM	Simple hip and gable or shed roof forms
ROOF	- Low pitched roofs 3 ½: 12 – 4:12 - Concrete “S” tile (various blends) - Tight to 9” overhangs
WALLS	Stucco with sand finish
WINDOWS	- Vertical windows - Divided lights all four sides - All windows recessed
DETAILS	- Stucco trim at entries - Stucco trim at window heads - Raised panel shutters - Wrought iron and wood potshelves - Canvas awnings above windows with wrought iron braces - Themed exterior light fixtures at entries, pedestrian courts, and auto courts
COLORS	Light to mid-toned wall colors with contrasting rich trim and accents
TYPICAL ELEVATION	Refer to Figures 33 and 34.

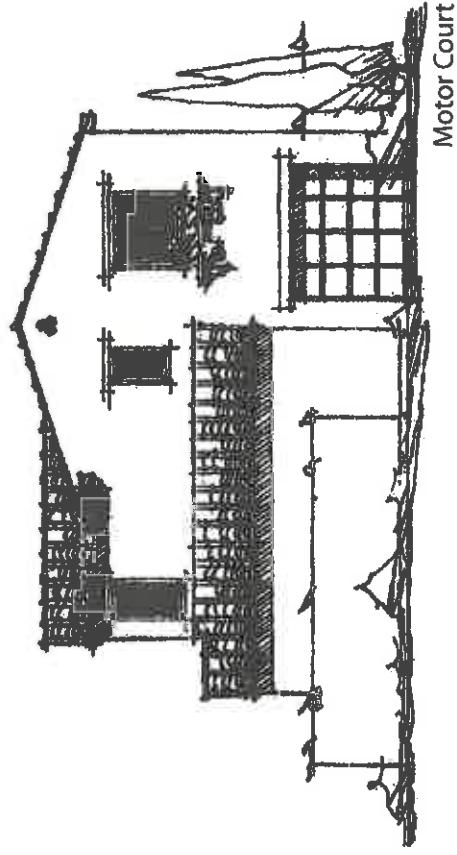
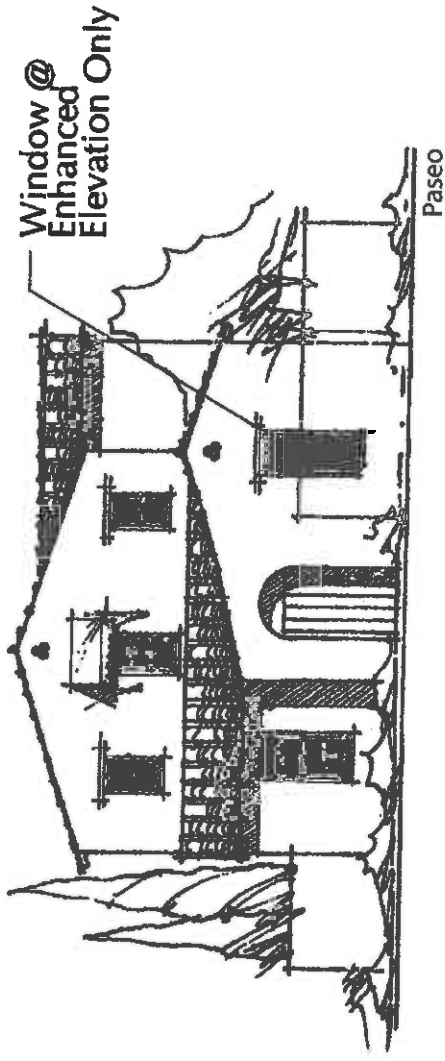


Source: California Pacific Homes

Upland Crossing Specific Plan
Upland, CA

Figure 33A
Spanish Colonial Architectural Style



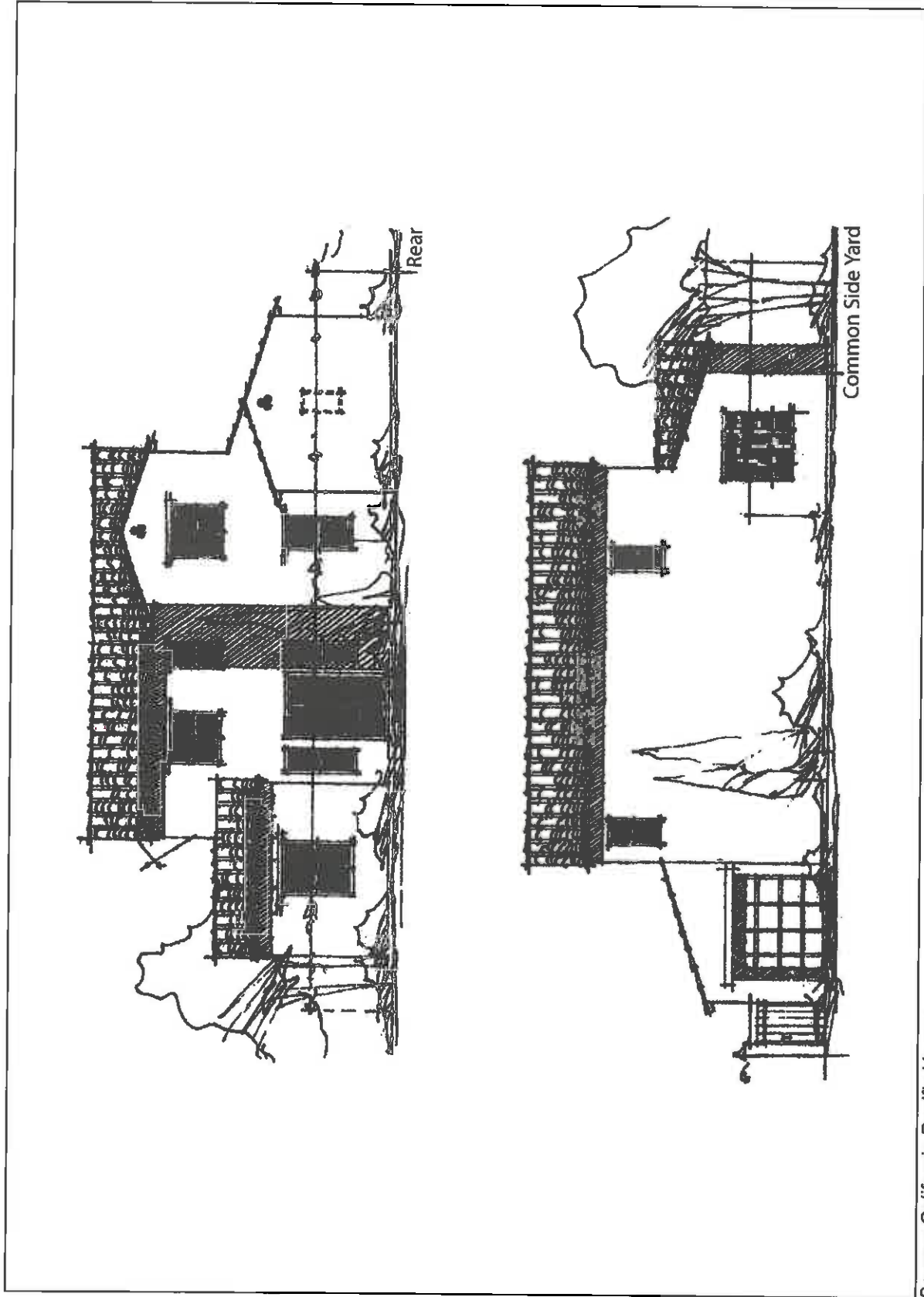


Source: California Pacific Homes

Upland Crossing Specific Plan
Upland, CA

Figure 33
Conceptual Imagery - Spanish Colonial Architectural Style





Source: California Pacific Homes

Upland Crossing Specific Plan
Upland, CA

Figure 34
Conceptual Imagery - Spanish Colonial Architectural Style



b. Plan and Style Requirements

1. Provide at least three (3) building plans per neighborhood, with the ability to vary placement or add elements to corner units; and
2. Provide at least three (3) different, yet compatible color schemes for each neighborhood. Individual building colors should be selected from the color palettes selected for that style.

c. Building Orientation

Creating street scenes that function well and have visual interest are primary community objectives. The following basic elements and criteria are intended to develop variations in appearance and a sense of individuality for each home. Neighborhoods that have nearly identical homes and streets without variation in product placement and form will not be approved in the design review. This section lists architectural plotting techniques that work together to create a quality environment.

1. Buildings should relate appropriately to surrounding development and streets and create a cohesive visual identity for the neighborhood and street scene;
2. Public spaces should be clearly defined from private spaces through the use of building materials, grade separations, and physical separations such as fences, walls, or building enclosures;
3. Provide variation in floor plans, massing forms and elements on facades;
4. De-emphasize garages through building orientation;

5. Design simple floor plans and building masses using the correct proportion and scale for the selected styles in mind; and
6. Adjacent and facing residences having the same front elevations are prohibited. However, reversed footprints with variation in elevation design and color/material application are permitted.

d. Building Mass and Scale, Form, and Height

The roof forms and pitches and heights of various architectural elements should conform to the individual styles selected for Planning Area 3. The following guidelines should be followed:

1. No building shall exceed a height of two stories, with a loft or bonus. An architectural projection such as a chimney or tower may exceed the maximum building height, but shall not exceed a height of 45 feet;
2. To the extent possible, each of the units should be individually recognizable. This can be accomplished with the use of balconies, setbacks, and projections which help articulate individual dwelling units or collections of units, and by the pattern and rhythm of windows and doors;
3. Elevations visible from public or private streets should be carefully articulated;
4. Emphasis should be placed on horizontal architectural lines including trim and fascia lines to make tall buildings appear wider;
5. Buildings should be designed to define outdoor spaces, with floor plans that have a logical and functional relationship between indoor spaces and outdoor areas; and

6. Single-story elements are encouraged on all buildings to establish pedestrian scale and add variety to the street scene.

e. Shade and Shadow – Building Relief

1. Project a front door image and access to the street front. Added articulation of end unit elevations is encouraged to achieve four-sided articulation;
2. Place and access garages from drive courts to separate pedestrians from vehicular areas;
3. Provide front porches where style appropriate and possible to accomplish stepped massing and transition to public spaces;
4. Vary setbacks on building elements/facades; and
5. Vary roof pitches and directions.

f. Roofs and Chimneys

1. A variety of roof styles should be permitted, including hip, gable, and shed. The roof design should follow the wall planes and roof pitch should be consistent with the architectural style. Flat roofs shall be prohibited;
2. Roofs should be constructed of non-combustible materials. Acceptable materials include clay or concrete tile. Unacceptable materials include pressed wood, corrugated fiberglass, asphalt roll roofing, and corrugated metal;
3. Roofing trim materials should be of similar materials and complementary colors. Roof vents and appurtenances

should be painted to match either the body or trim of the building;

4. Roof overhangs should be typical of the architectural style and should be designed as an integral part of the roof form. Awnings shall be permitted if true to the architectural style; and
5. Fireplaces are typically gas appliances, not wood-burning, and therefore, chimneys are not required in a functional sense. Chimneys may be included as an architectural element. If included, they shall be constructed of veneer or stucco.

g. Entries and Windows

1. Window pediments, small roof elements, overhangs, and projections over windows, doors, and garage doors should be incorporated into the architectural detailing; and
2. A variety of window and door treatments should occur. French doors, awnings, and decorative shutters should be incorporated into the building design.

h. Balconies and Porches

1. Balconies and porches should be used to articulate and reduce mass, as well as to provide shadow relief. Where architectural style and density are appropriate, stoops may be used instead of porches;
2. Porches, balconies, and trellis structures should be compatible with the overall architectural theme, style, and design of the structure; and

3. Materials used to construct balconies and porches should be appropriate to the designated architectural style. Where balconies are proposed, facades should vary in size and plane.

i. Details

1. Pot shelves, pilasters, and brick and tile accents are encouraged around doors, windows, and entries, particularly near front and side entries that are easily visible from the street;
2. Low and high walls should be used to define courtyards, patios, and entries;
3. Mechanical equipment such as gas meters and air conditioning and heating units should be screened from public view, either by landscaping, fences, and walls, or combination thereof; and
4. Rain gutters, downspouts and other architectural elements constructed of sheet metal should be painted with complementary colors to the building, either matching the color of the trim, fascia or stucco, depending on its location.

j. Materials and Colors

A variety of natural looking materials and colors will provide the diversity required for visual interest while supporting the community character and creating a timeless appeal. The primary purpose of the architectural color palette selection is to avoid monotony, provide a variety of colorful schemes and promote visual diversity. To further this goal of diversity, the following criteria shall be met:

1. Individual color schemes must be appropriate to the architectural styles with a harmonious selection of accent materials, roof profiles and colors;
2. A minimum of four different color blends shall be provided for the roofs; and
3. No adjacent home shall have the same color scheme.

k. Garage Doors and Driveways

1. Garage doors should be of complementary color, texture, and material; and

l. Garage Placement and Treatment

The home and front yard should be the primary focus of the front elevation. All garages in Planning Area 3 will be accessed from the drive courts in order to create an attractive street scene.

m. Lighting

1. All street lighting shall be nostalgic luminaire post top light fixtures, also referred to as decorative acorn-shaped SCE street lights, as previously shown on Figure 26. All street lighting shall conform to City standards or an approved theme lighting program, and shall be approved by the City Engineer.

n. Homeowners Association

A master homeowners association (HOA) shall be created for Planning Areas 2 and 3 in order to preserve and enforce the goals and objectives of this residential development and the City of Upland. The HOA shall be responsible for the maintenance of all perimeter landscape, walls, lights, interior streets, onsite utilities and common areas within Planning Areas 2 and 3. The HOA shall process a full set of CC&R's, which are not part of this Specific Plan document, through Community Development Services and the City Attorney's Office in conjunction with the processing of the project's final map.

In addition, a separate POA shall be created for commercial-retail Planning Area 1.

D. LANDSCAPE DESIGN GUIDELINES**1. INTRODUCTION**

The Upland Crossing Landscape Design Guidelines establish a landscape theme for the planning areas and set forth general criteria for landscaping to enhance the urban "Village" environment. These guidelines consist of a written summary and establish criteria for entries, streetscapes, special treatment/buffer areas, plant palette, walls and fences, and lighting. When implemented, they will serve to create a unifying fabric for the Upland Crossing Specific Plan.

The Upland Crossing Specific Plan landscaping theme is driven by the desire to create an identifiable sense of place within the site and will assist tremendously in providing a successful addition to the Upland community. Landscape and streetscape elements will be used to create visual continuity throughout the Upland Crossing Specific Plan. Design elements such as entries, streetscapes, and walls and fences will establish a design theme for the project by reinforcing the design hierarchy and by providing visual gateways. These features are created

through a thematic blend of landscape, hardscape, and planting elements.

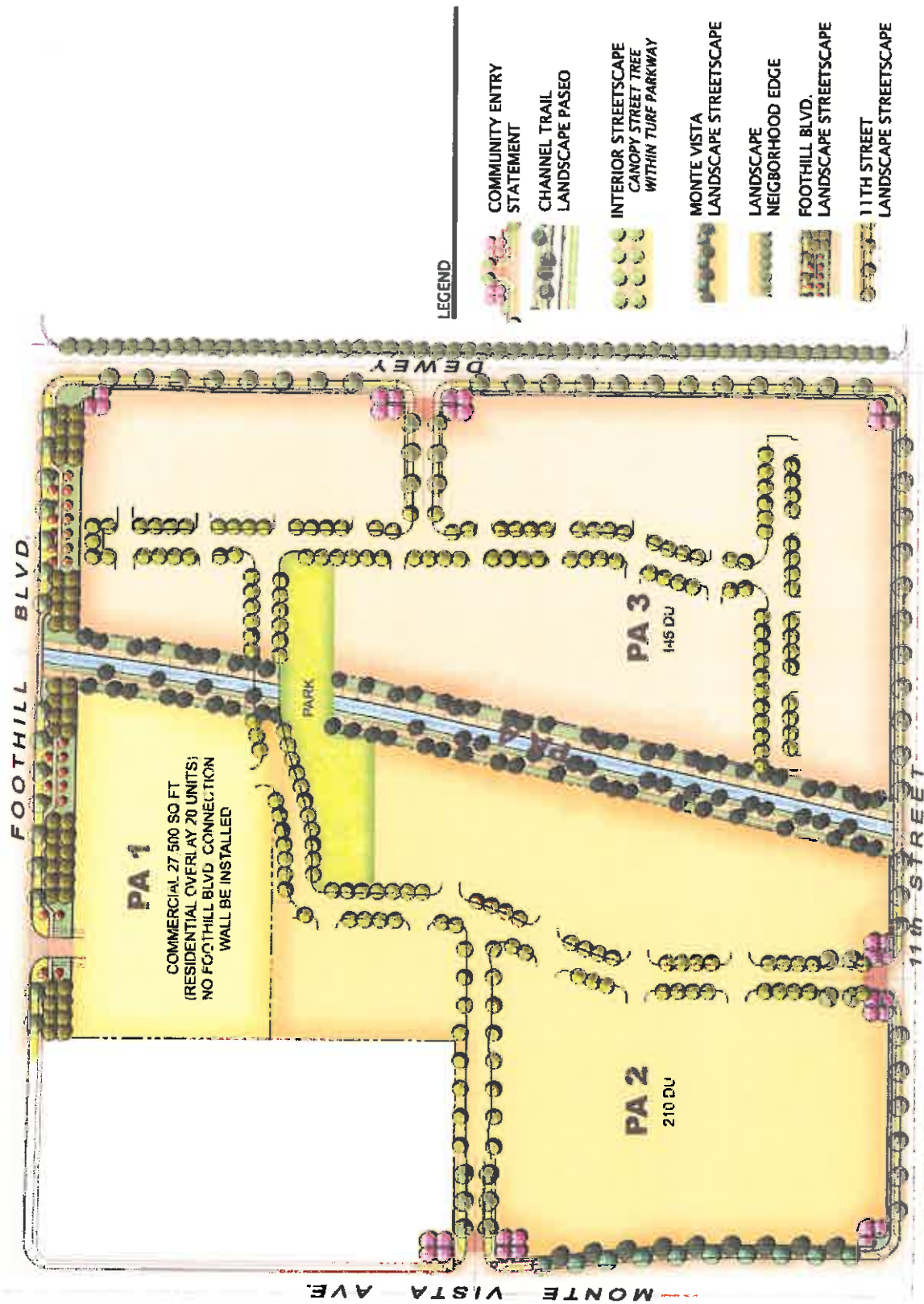
The landscape theme for the Upland Crossing Specific Plan should incorporate a compatible plant palette of trees, shrubs, and ground covers. Careful thought has been given to integrate the structural and aesthetic elements of a balanced development. Once a particular plant or plant combination is used for a particular application, it shall be repeated in similar areas of the project to reinforce a sense of cohesion within the development. Landscape design shall not, however, result in monotony or lack of variety or biological diversity. The following is a description of landscape elements for the overall project area. These elements shall be detailed at the submittal of tentative map, site development plan, or other discretionary permit for each area of development. The landscape design is based on the vision and goals of the Upland Crossing Specific Plan (see Figure 35, Conceptual Landscape Plan).

* For ease of location reference, Figure 35A, Location Map, is provided to graphically show the locations of Figures 36 through 45 within the Upland Crossing Specific Plan.

2. STREETSCAPES

Roadway streetscapes adjacent to the Upland Crossing Specific Plan are critical in maintaining the perception, unification, and quality of the development. Landscaping of perimeter and internal streets will help provide continuity throughout the project and create an appropriate connection with adjacent areas. Street trees and groundcover should reflect the project's design theme and be selected from the project's plant palette (see Table 13). Landscaping on Foothill Boulevard, Monte Vista Avenue, 11th Street and Dewey Way will establish the main planting theme for the Upland Crossing Specific Plan.

The Design Guidelines for the Upland Crossing Specific Plan strongly



Source: SITESCAPES

Upland Crossing Specific Plan
Upland, CA

Figure 35
Conceptual Landscape Plan

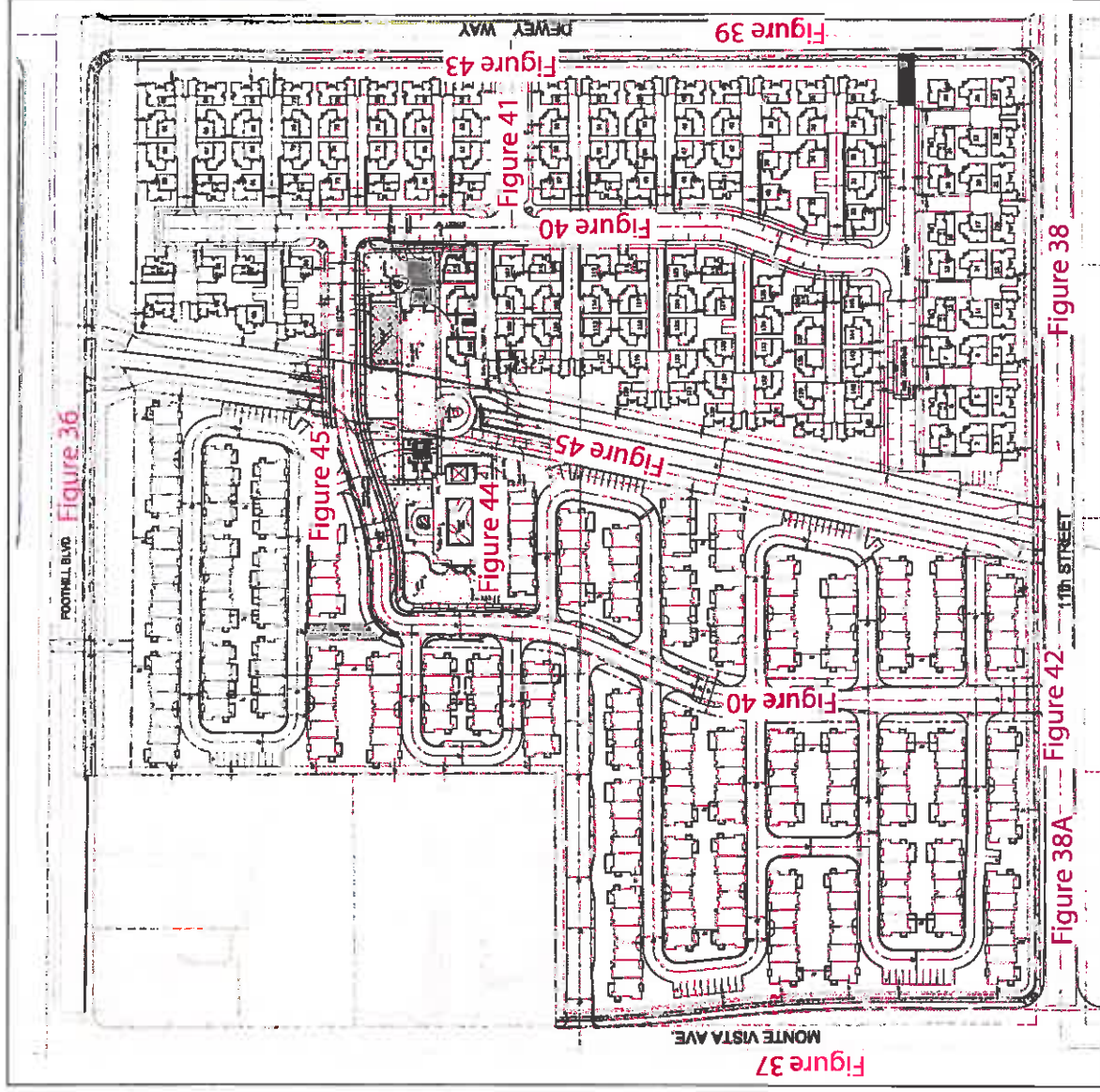


Figure 35A
Location Map

Upland Crossing Specific Plan
Upland, CA

NOT TO SCALE



encourage landscaping and hardscape within and adjacent to the site. The proposed landscape and hardscape must be sensitive to the needs of the community. More specifically, the area in between Foothill Boulevard and Planning Areas 1 and 3 will include an approximate 12-foot wide planting strip with large canopy street trees, a 6-foot wide pedestrian walkway, and up to a 46-foot wide landscaped area with a variety of low groundcover, groupings of accent trees and random groupings of vertical background trees, as shown on Figure 36, Foothill Boulevard Streetscape. This landscaped area will have a 20% south sloping grade beginning approximately 2 feet south of the pedestrian walkway. The Caltrans right-of-way includes all of the paved area of Foothill Boulevard and a portion of the planting strip, approximately 2 feet north of the pedestrian walkway. The approximate 54-foot wide area south of the Caltrans right-of-way is the City of Upland's right-of-way. Additionally, Foothill Boulevard will have a 20-foot wide raised landscaped median at the centerline with medium scale canopy trees. The width of Foothill Boulevard and Monte Vista Avenue both accommodate bike lanes.

As shown on Figure 37, Monte Vista Avenue Streetscape, this street will have a 6.5-foot wide planting strip with large canopy street trees, a 5-foot wide sidewalk, and an 8-foot wide, 2 to 1-foot slope maximum landscaped setback with a formal row of vertical background trees. 11th Street will be similarly landscaped, however, medium scale canopy street trees, low mounding and cascading shrubs and informal groupings of vertical background/accents trees will be planted on this narrower street, as shown on Figures 38 and 38A, 11th Street (East) Streetscape and 11th Street (West) Streetscape, respectively. There will be a 2 to 1-foot slope maximum along the project's boundary on 11th Street, and a 3-foot high retaining wall along 11th Street East. Dewey Way will be landscaped with similar trees and shrubs to complete the project's identification. As shown on Figure 39, Dewey Way Streetscape, the west side of Dewey Way will have an 8-foot wide landscape setback with informal groupings of vertical background trees which could have a 2 to 1-foot slope maximum, a 5-foot wide sidewalk, and an 8-foot

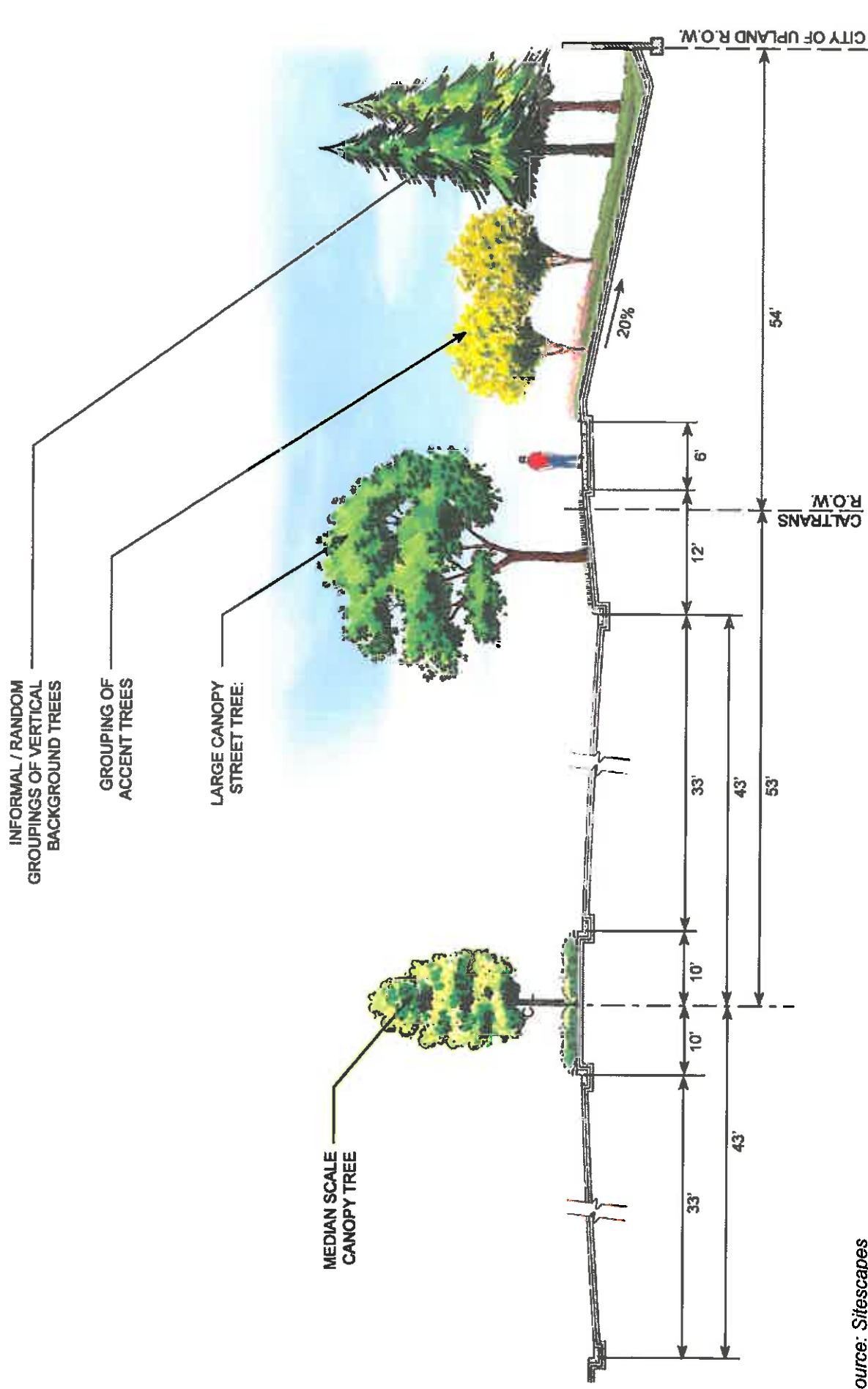
wide planting strip with large canopy street trees. An 8-foot wide 3:1 slope will be constructed on the east side of Dewey Way. A sidewalk on the east side of Dewey Way will not be constructed.

As shown on Figure 40, Interior Road Streetscape with Parking, all interior streets with on-street parking will have 56-foot right-of-ways. Each side of the street includes a 10-foot wide lane, 8-foot wide on-street parking, a 5-foot wide planting strip with medium or large canopy street trees, and a 5-foot wide sidewalk. All interior streets that do not have on-street parking will have 48-foot right-of-ways and will be similarly landscaped, as shown on Figure 41, Interior Road Streetscape without Parking. Vehicle considerations have been recognized, striking a balance between the needs of both the pedestrian and the automobile.

3. ENTRY MONUMENTATION

Entry monuments serve several important purposes and careful consideration should be given to the design of the project entries. The intent of project monumentation design is to create visual gateways into the Upland Crossing Specific Plan and to provide aesthetically pleasing entry statements that highlight the distinctiveness of the development. Entry monumentation within the Upland Crossing Specific Plan will establish the design theme by creating a thematic blend of hardscape and planting elements. Each entry monument setting is site specific and should be comprised of a blending of construction features, signage, and landscape and hardscape which enhances the overall outlook of the Upland Crossing Specific Plan. Neighborhood monuments will be located at the project entries along Monte Vista Avenue, 11th Street, and Dewey Way. Corner monumentation shall occur at Foothill Boulevard and Dewey Way as well as Monte Vista Avenue and 11th Street which will complement the entry monuments.

Figure 42, Primary Residential Entry at 11th Street, will be built at the southern entrance to Planning Area 2. More specifically, a 9-foot tall by 3-foot wide stucco pilaster with a pre-cast finial cap and burnished block

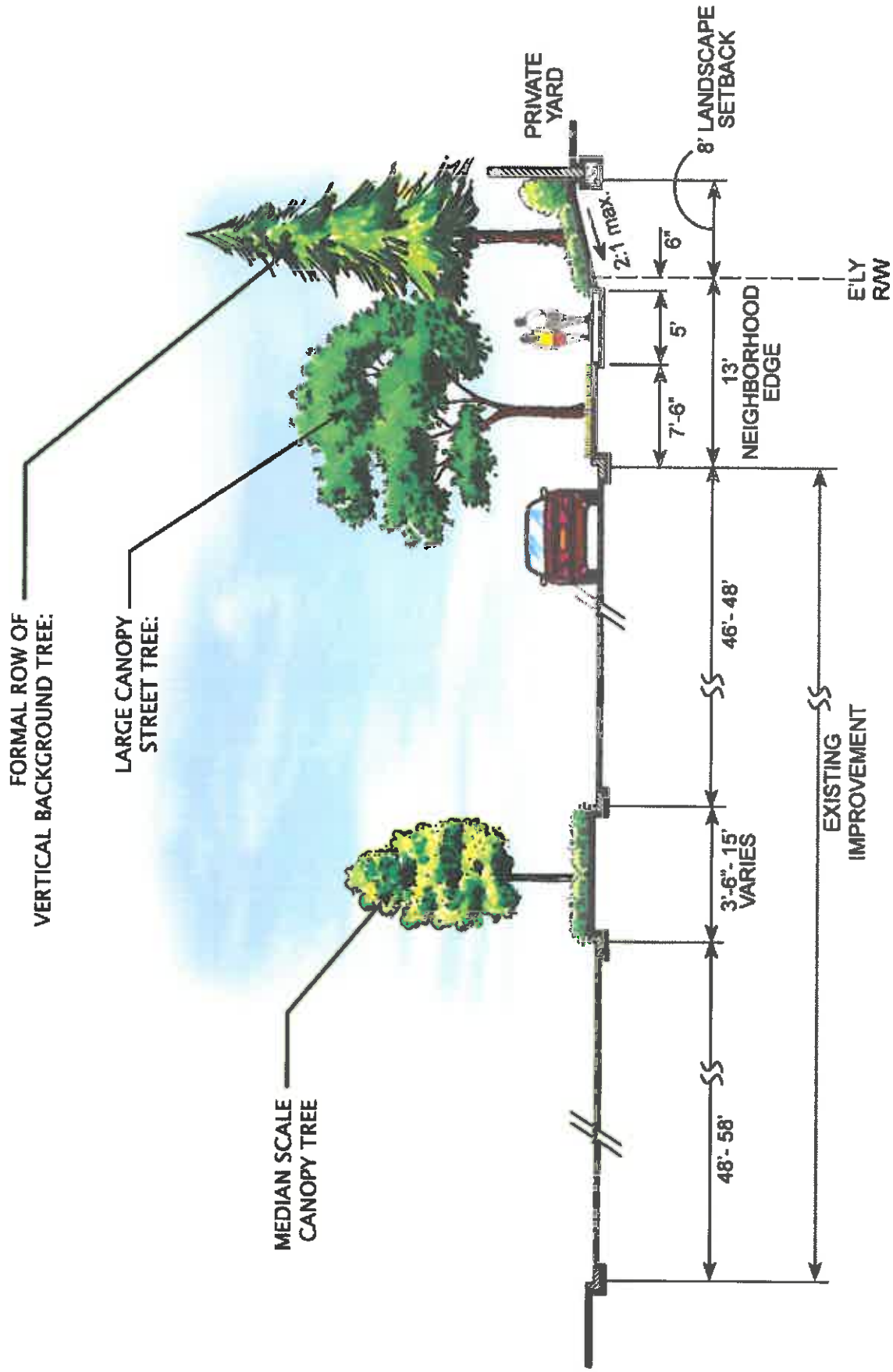


Source: SITESCAPES

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Figure 36
Foothill Boulevard Streetscape





Source: Sitiescapes

(View looking north of the left turn pocket)

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Upland, CA

Figure 37

Monte Vista Avenue Streetscape



Figure 38
11th Street East Streetscape



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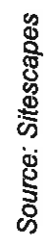
Upland Crossing Specific Plan
Upland, CA

Figure 38A
11th Street West Streetscape

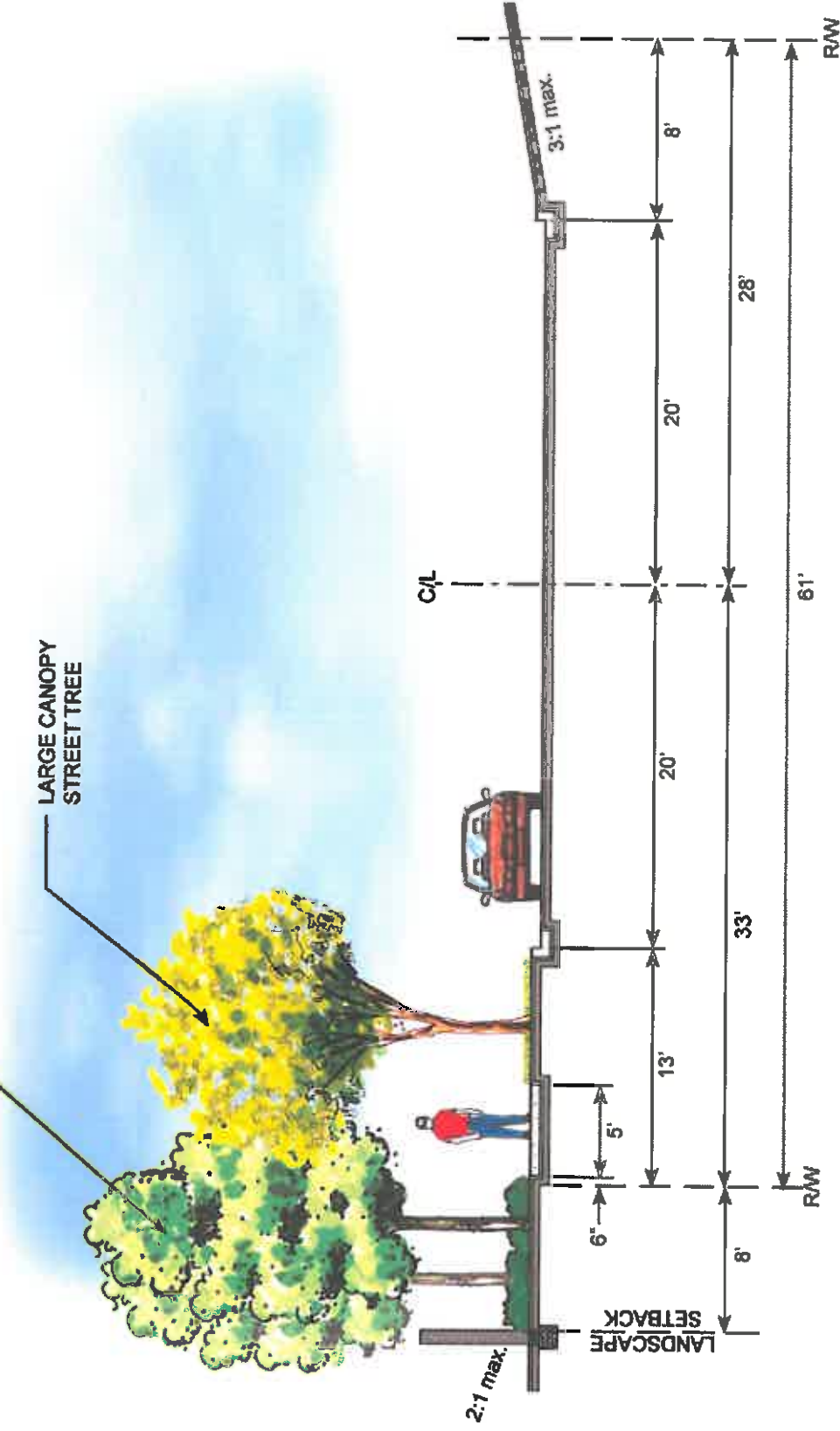
**TEMPLETON PLANNING GROUP**

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INFORMAL GROUPING OF
VERTICAL BACKGROUND TREES

LARGE CANOPY
STREET TREE



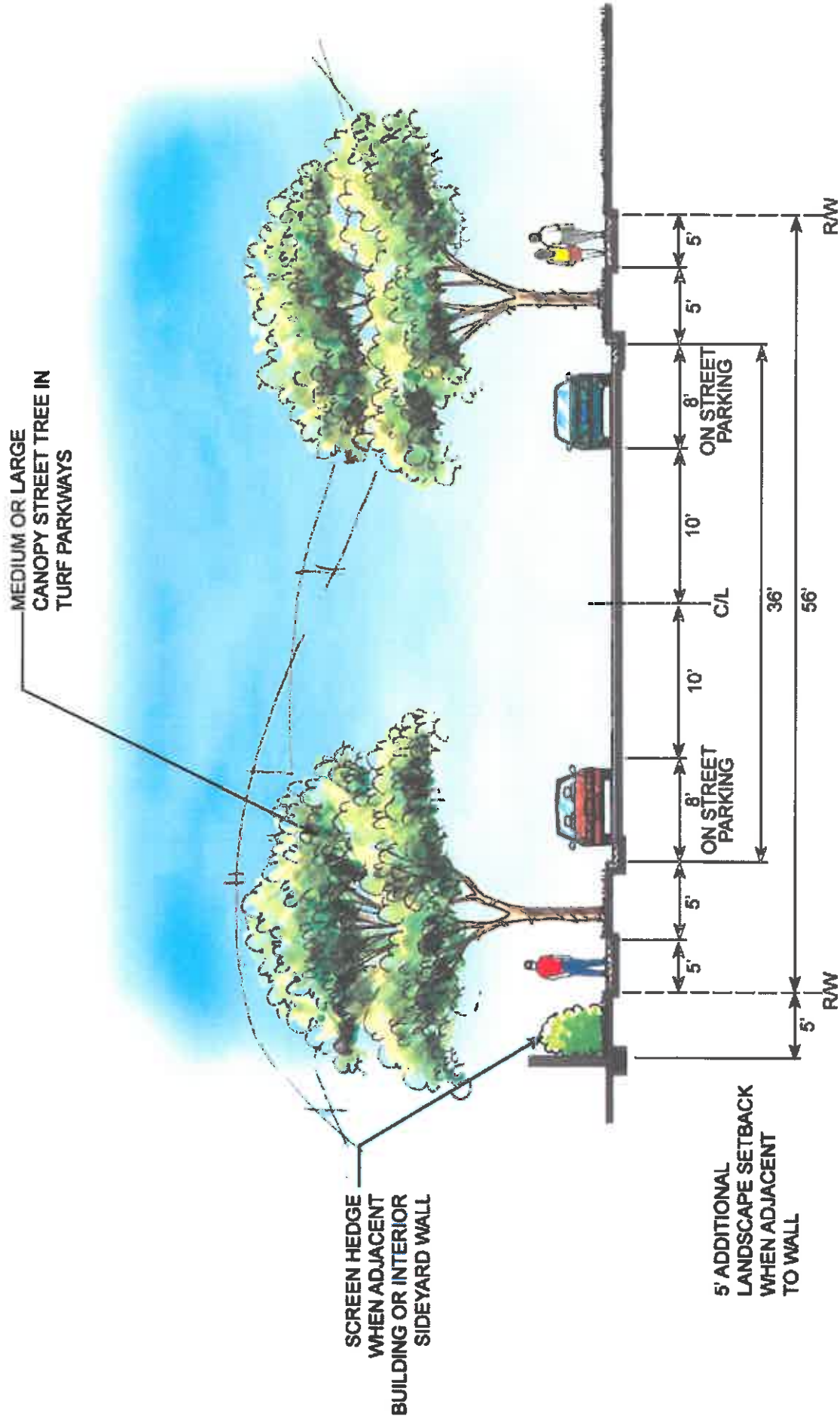
Source: SITESCAPES

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Figure 39
Dewey Way Streetscape

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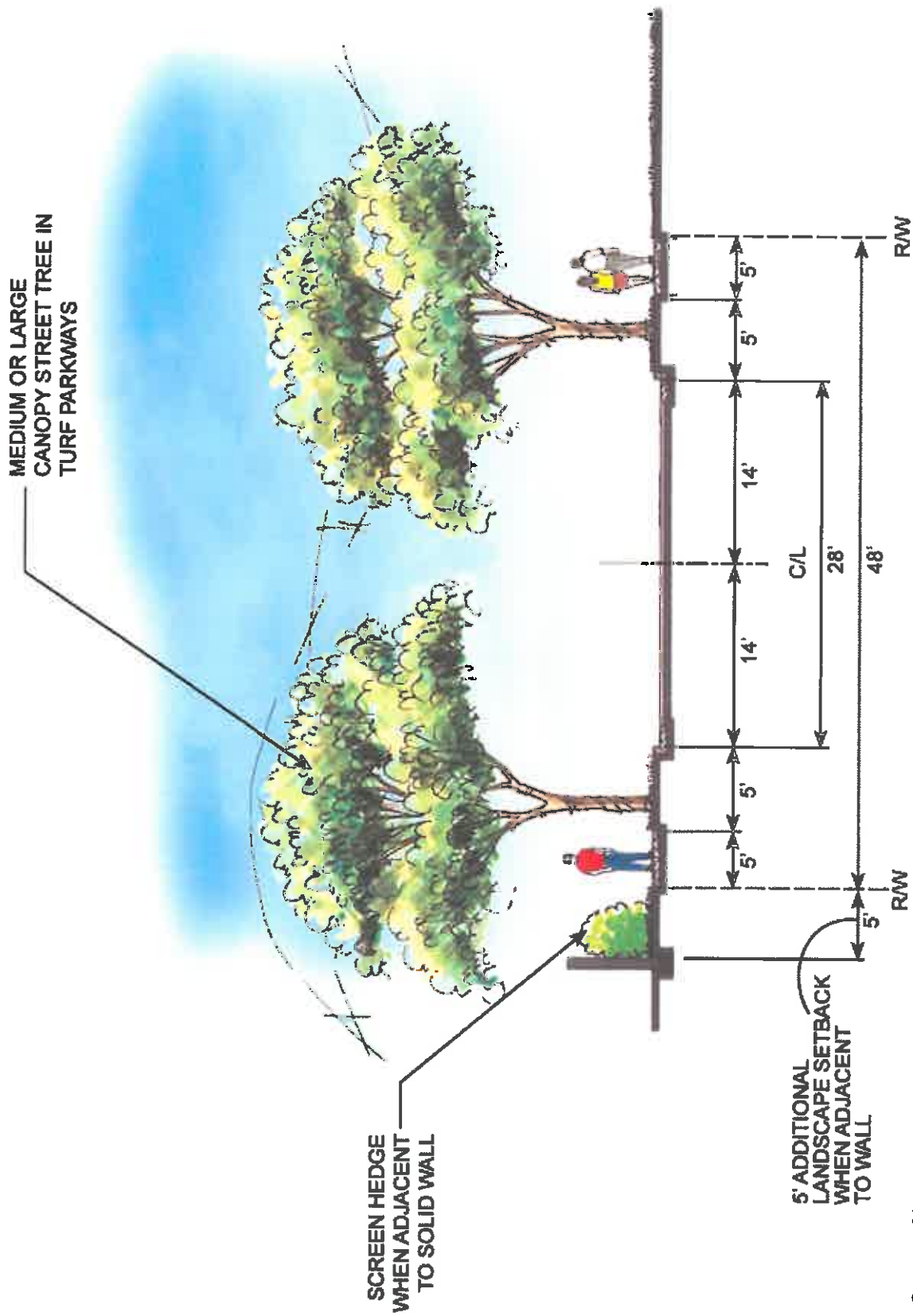


Source: SITESCAPES

Upland Crossing Specific Plan
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Figure 40
Interior Road Streetscape with Parking



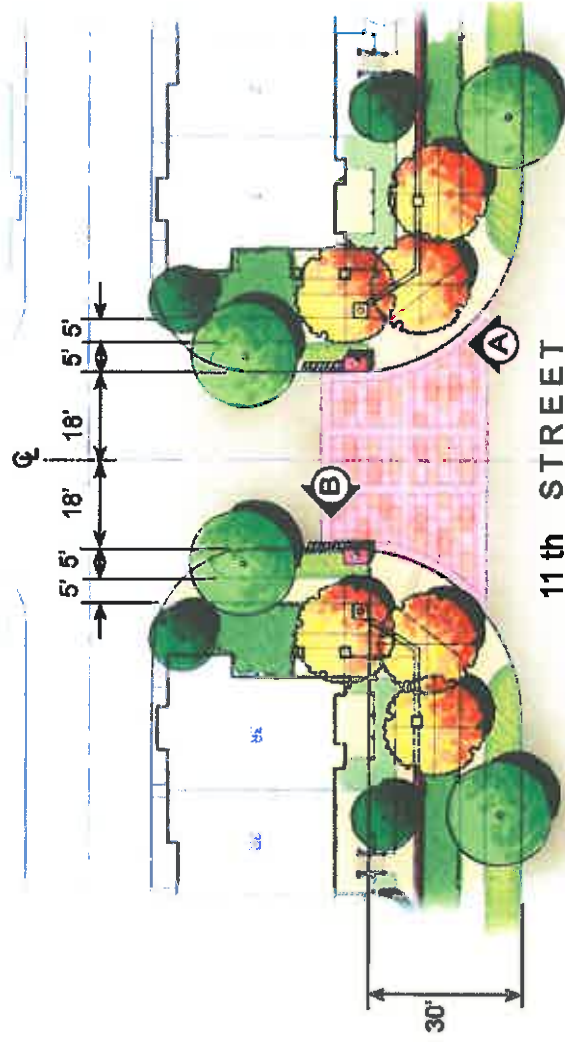
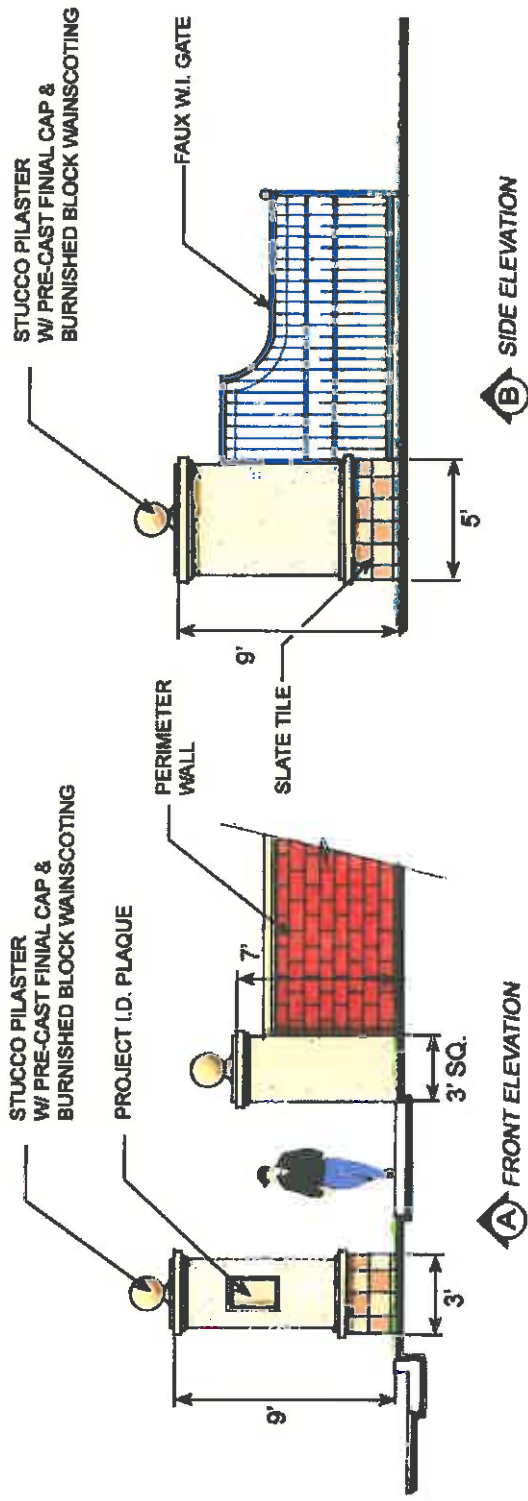


Source: SITESCAPES

Upland Crossing Specific Plan
Upland, CA

Figure 41
Interior Road Streetscape without Parking





Source: SITESCAPES

Upland Crossing Specific Plan
Upland, CA

Figure 42
Primary Residential Entry at 11th Street

wainscoting will have a residential sign inlaid for project identity on both sides of the entryway. Additionally, this pilaster will have a faux wrought iron gate attached to the back to simulate a gated entry. A similarly designed 7-foot tall by 3-foot wide stucco pilaster will be attached to the perimeter wall. Stamped AC pavement at each entry will provide a sense of "arrival." A similarly designed secondary residential entrance to Planning Area 2 will be built on Monte Vista Avenue, which will have full project wall and landscape treatment at the southern corner, but only a project monument on the northern corner next to the existing commercial site.

Figure 43, Primary Residential Entry at Dewey Way, will be a smaller scale monument and will serve as the primary residential entry to Planning Area 3. A similar 9-foot tall stucco pilaster with a stucco wing wall will grace both sides of the entry. A 5-foot wide sidewalk will be placed in between the pilaster and a 5-foot wide planting strip. This entry will have stamped AC paving similar to the previous entryways described.

4. RECREATION AND OPEN SPACE

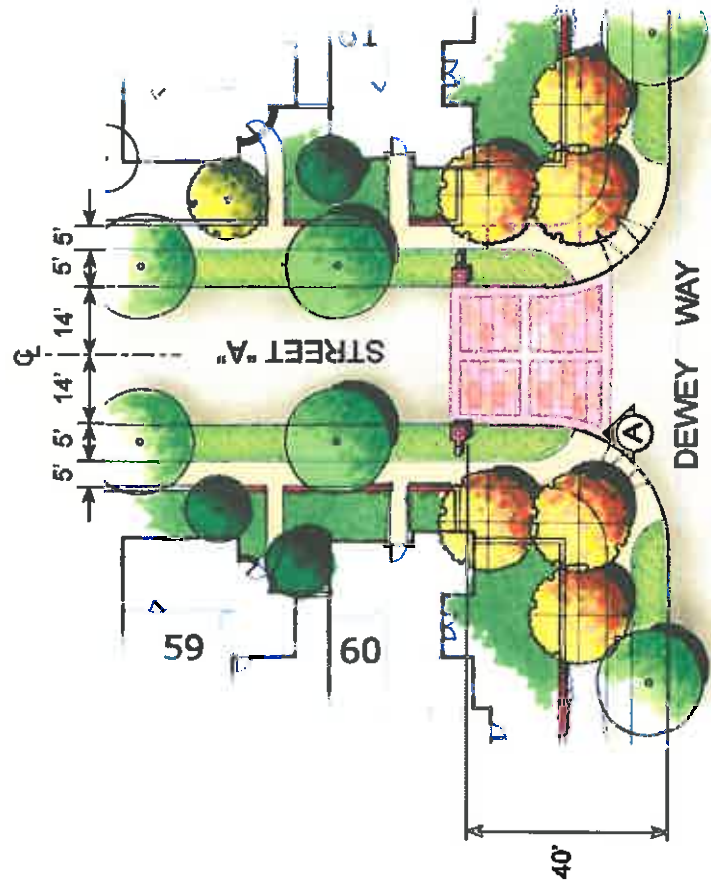
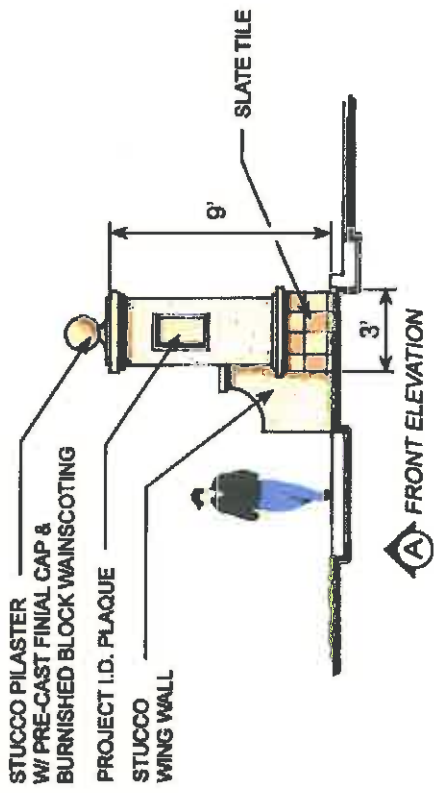
An important element of the Upland Crossing Specific Plan is the provision of recreation and open space areas to enhance the quality of living for residents of the Upland Crossing community. The Conceptual Landscape Plan shows a recreation system that consists of two recreation areas with several amenities, a pedestrian trail along the San Antonio Creek Channel, and pedestrian friendly walkways along the perimeter of the project area. More specifically, the approximate 0.6-acre recreation area will be located in Planning Area 2 along the west side of the San Antonio Creek Channel, and the approximate 0.4-acre recreation area will be located in Planning Area 3 along the east side of the San Antonio Creek Channel. The two recreation areas will cover the channel and meet each other in the center of the channel, as previously shown on Figure 35, Conceptual Landscape Plan. Several amenities shall be provided, including a pool, spa, outdoor pool building with

restrooms, drinking fountains, and pool equipment storage, an entertainment plaza, barbeque area, tot lot, gazebo, and several open turf areas, as shown on Figure 44. The Upland Crossing Specific Plan is a pedestrian-oriented community and dedicated parking at each recreation area would be unnecessary.

The San Antonio Creek Channel will provide approximately 1.5 acres of improvements within the right of way, including the pedestrian trail and access road. The 12-foot wide pedestrian trail will be located along the west side of the channel. Along the west side of this pedestrian trail, there will be an approximately 9.5-foot wide planting strip with informal random plantings of canopy and medium scale vertical screen trees. There will be an approximately 6-foot wide planting strip with ground cover along the east side of this pedestrian trail. A chain link fence planted with vines will be installed for safety along the channel. Along the east side of the channel, a 12-foot wide access road and an approximately 14-foot wide landscape will provide a buffer for adjacent residents, subject to regulatory approval, as shown on Figure 45, Channel Plan View and Section. As previously described, the sidewalks along the perimeter streets will be buffered from passing vehicles by landscaping varying in width from 6 feet to 12 feet. Additionally, all interior streets include sidewalks on each side of the street, providing convenient pedestrian access throughout the project area.

5. PLANT PALETTE

It is the intent of these guidelines to provide flexibility and diversity in plant material selection, while maintaining a limited palette in order to give greater unity and thematic identity to the Upland Crossing Specific Plan. The plant material palette has been selected for its appropriateness to the project theme, climatic conditions, soil conditions, and concern for maintenance. Wherever possible, overall plant material groupings shall be designed to minimize water application for the entire landscape setting. Consideration should be given to the location of trees to avoid potential long term problems with tree roots and shall be consistent with



Source: Sifescapes

Upland Crossing Specific Plan
Upland, CA

Figure 43
Primary Residential Entry at Dewey Way

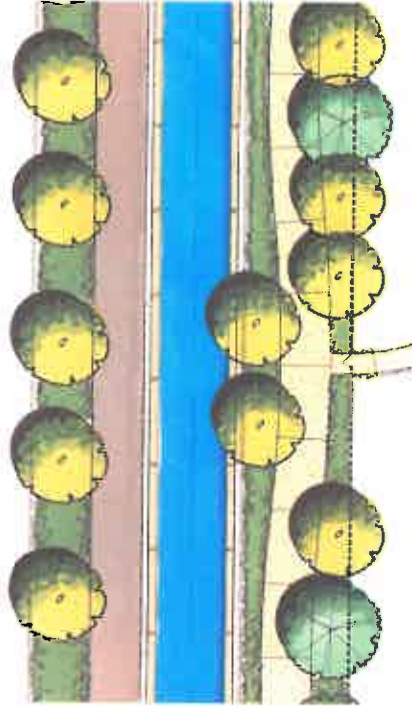




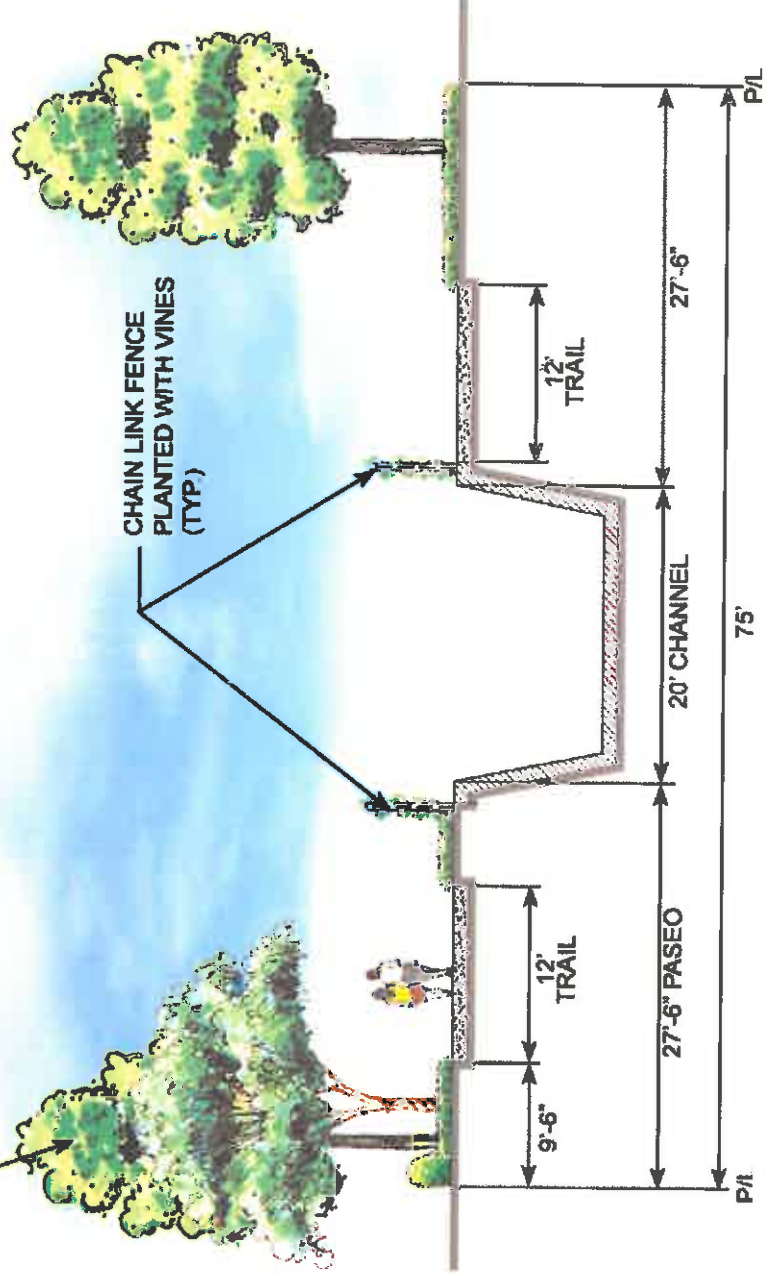
Source: SITESCAPES

Upland Crossing Specific Plan
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Figure 44
Recreation Area Concept



INFORMAL
RANDOM
PLANTINGS
OF CANOPY
AND MEDIUM
SCALE
VERTICAL
SCREEN TREES



Source: SITESCAPES

(View looking north)

Upland Crossing Specific Plan
Upland, CA

Figure 45
Channel Plan View and Section

the City of Upland landscaping standards. Use of existing plant materials in key areas will be a desired feature of the Upland Crossing Specific Plan. Table 13, Plant Palette, provides a listing of plant material identified for use in the streetscapes, entries, and other special areas of the Upland Crossing Specific Plan. Other species can also be used, subject to the approval by the City of Upland.

a. Planting Guidelines

1. The sum of the landscape areas including parkways shall be not be less than 25 percent of the total area of the property.
2. Trees shall be no less than 15 gallons in size and shall be of species and variety approved by City staff. All four perimeter streets (Foothill Boulevard, Monte Vista Avenue, 11th Street, and Dewey Way), and loop interior streets within the project site shall include 24-inch box trees. To achieve the desired visual and aesthetic effect, tree size may vary with approval of the City of Upland Planning Division.
3. All 15-gallon trees shall be staked with a minimum of one 8' by 2" diameter (pressure treated lodge pole tree stakes or equivalent).
4. All 24-gallon trees shall be staked with a minimum of two 10' by 2" diameter (pressure treated lodge pole tree stakes or equivalent).
5. All new development areas shall provide street trees spaced according to the growth characteristics of the species selected. Trees may be clustered. Tree species shall conform to the City of Upland Street Tree Guidelines and standards established by the Master Landscape Plan submitted as a part of implementing this Specific Plan.

6. One (1) tree shall be provided for every 10 stalls located in the overall parking field. Trees shall be of a species that provides visibility to signage and store fronts. A vertical type tree which has open foliage is appropriate.

7. All open parking area and their adjacent vehicular access ways shall incorporate landscaping, which may be comprised of trees, shrubs, and groundcovers. Planting areas shall be a minimum of 5' by 5' in diamond shape or equal inside dimension.

8. All plant material shall be planted in the following minimum sizes:

- Trees – 15 gallon
- Shrubs – 1 gallon
- Primary Accent Trees – 24" box

9. Planting ratios for major street medians and parkways shall be as follows:

- Turf – 35 percent
- Ground Cover and Shrubs – 65 percent

6. WALLS AND FENCES

Walls and fences are visually prominent and can form a unifying element of design. On the other hand, if not properly located and designed, they can be a detriment by providing an overbearing sense of "confinement" with little or no visual relief. While a project without walls may be a desirable objective, it is recognized that walls and fencing cannot be completely avoided for reasons of privacy, public health, safety, and project identity.

TABLE 13
PLANT PALETTE

TYPE	BOTANICAL NAME	COMMON NAME
TREES	<i>Eucalyptus sideroxylon</i> 'Rosea'	Pink Iron Bark
	<i>Melaleuca quinquevneria</i>	Cajeput Tree
	<i>Pinus canariensis</i>	Canary Island Pine
	<i>Pinus eldarica</i>	Mondell Pine
	<i>Tristania conferta</i>	Brisbane Box
	<i>Jacaranda mimosifolia</i>	Jacaranda
	<i>Magnolia grandiflora</i> 'Majestic Beauty'	Southern Magnolia
	<i>Platanus acerifolia</i> 'Bloodgood'	London Plane Tree
	<i>Quercus ilex</i>	Holly Oak
	<i>Tipuana tipu</i>	Tipu Tree
TREES	<i>Ulmus parvifolia</i> 'True Green'	Evergreen Elm
	<i>Cupaniopsis anacardioides</i>	Carrotwood
	<i>Koelreuteria bipinnata</i>	Chinese Flame
	<i>Lagerstroemia farnesia</i> 'Muskogee'	Crape Myrtle (Lavendar)
	<i>Magnolia grandiflora</i> 'Russet'	Southern Magnolia
	<i>Ulmus parvifolia</i> 'True Green'	Evergreen Elm
	<i>Chitalpa tashkentensis</i> 'Pink Dawn'	Chitalpa
	<i>Cinnamomum camphora</i>	Camphor Tree
	<i>Olea europaea</i>	Olive
	<i>Pyrus calleryana</i> 'Chanticleer'	Chanticleer Pear
TREES	<i>Tabebuia chrysotricha</i>	Golden Trumpet Tree
	<i>Cocos plumosa</i>	Queen Palm
	<i>Washingtonia robusta</i>	Mexican Fan Palm
	<i>Agapanthus africanus</i> 'Peter Pan'	Dwarf Lily-of-the-Nile
	<i>Agave vilmoriniana</i>	Octopus Agave
	<i>Anigozanthos manglesii</i>	Kangaroo Paw
	<i>Camellia japonica</i> 'Debutante'	Camellia
	<i>Equisetum hyemale</i>	Horsetail
	<i>Helictotrichon sempervirens</i>	Blue Oat Grass
	<i>Hemerocallis</i> 'Dwarf Yellow'	Day Lily
SHRUBS	<i>Nandina domestica</i>	Heavenly Bamboo
	<i>Phormium tenax</i> 'Bronze Baby'	New Zealand Flax (Reddish)

TABLE 13
PLANT PALETTE (CONTINUED)

TYPE	BOTANICAL NAME	COMMON NAME
ACCENT (CONTINUED)	<i>Platycarpus o. 'Aureus Nanus'</i>	Berkman's Golden Arborvitae
	<i>Podocarpus macrophyllus 'Maki'</i>	Shrubby Yew Pine
	<i>Rosa F. 'Ice Berg'</i>	White Shrub Rose
	<i>Salvia clevelandii</i>	Cleveland Sage
LOW MOULDING/ CASCADING	<i>Strelitzia reginae</i>	Bird-of-Paradise
	<i>Callistemon v. 'Little John'</i>	Dwarf Weeping Bottlebrush
	<i>Cistus hybridus</i>	White Rockrose
	<i>Lantana montevidensis</i>	Spreading Lantana
	<i>Lovandula angustifolia 'Irene Doyle'</i>	English Lavender
	<i>Pennisetum setaceum</i>	Fountain Grass
	<i>Rosmarinus o. 'Prostratus'</i>	Trailing Rosemary
	<i>Salvia greggii</i>	Red Salvia
	<i>Buxus m. japonica</i>	Japanese Boxwood
	<i>Liriope muscari</i>	Big Blue Lily Turf
FOREGROUND	<i>Pittosporum tobira 'Creme de Mint'</i>	Variegated Dwarf Tobira
	<i>Raphiolepis indica 'Ballerina'</i>	Dwarf Indian Hawthorne
	<i>Salvia greggii</i>	Red Salvia
	<i>Stipa tenuissima</i>	Mexican Feather Grass
MEDIUM HEDGE	<i>Cotoneaster lacteus</i>	Parney Cotoneaster
	<i>Feijoa sellowiana</i>	Pineapple Guava
	<i>Grevillea 'Noeltii'</i>	N.C.N.
	<i>Leucophyllum laevigatum</i>	Chihuahuan Sage (Texas Ranger)
	<i>Ligustrum japonicum 'Texanum'</i>	Wax Leaf Privet
	<i>Moraea bicolor</i>	Fortnight Lily
	<i>Myrtus communis</i>	True Myrtle
	<i>Pittosporum tobira 'Variegata'</i>	Variegated Tobira
	<i>Raphiolepis indica 'Clara'</i>	Dwarf Indian Hawthorne
	<i>Rosa F. 'Ice Berg'</i>	White Shrub Rose
	<i>Rosmarinus o. 'Tuscan Blue'</i>	Rosemary
	<i>Westringia fruticosa 'Wynabbie Gem'</i>	Coast Rosemary
	<i>Xylosma congestum</i>	Xylosma
	<i>Ficus repens</i>	Creeping Fig
VINES	<i>Gelsemium sempervirens</i>	Carolina Jessamine
	<i>Pyracantha fortuneana</i>	Pyracantha

The intent of the Upland Crossing Specific Plan is to maintain open views and encourage access to public areas within the project. Where walls and fencing are required (e.g., noise attenuation, privacy) or desirable (e.g., entry monumentation and residential buffers), the improvements shall be designed and constructed in a manner compatible with the scale, texture, and color of the surrounding environment. Where unavoidable, designs shall integrate walls and fences with other site components including signage, structures, and landscape and hardscape.

Walls and fencing within the Upland Crossing Specific Plan should reflect an appropriate balance of function and aesthetic quality. All walls and fences within the project should be designed as integral elements of building architecture or complementary to the architecture and landscape character. Walls and fencing will be used to establish identity, provide protection from roadway and other noise, and allow privacy and security in residential areas.

As shown on Figure 46, Wall and Fence Plan, a perimeter block wall will be constructed along Foothill Boulevard, between the San Antonio Creek Channel and the northeast corner at Dewey Way, along Dewey Way, along 11th Street, and half-way up Monte Vista Avenue, at the secondary residential entry. Precision block wall will be constructed along the boundary of Planning Area 1 and any areas within the project area which are not in public view from the perimeter streets. A 6-foot tall splitface block wall will be constructed north of the secondary residential entry at Monte Vista Avenue along the northern boundary of Planning Area 2, as well as the western boundary of Planning Area 1. This wall will separate the existing commercial site at the southeast corner of Foothill Boulevard and Monte Vista Avenue from the Upland Crossing Specific Plan, and the possible commercial-retail or residential overlay area from the proposed residential uses. One stucco monument pilaster will be placed at the corners of Foothill Boulevard and Dewey Way, Dewey Way and 11th Street, and 11th Street and Monte Vista Avenue, as shown on Figure 47, Corner Treatment. As previously

mentioned in the Entry Monumentation section, stucco monument pilasters will be placed on each side of the project entries. For pedestrian safety, the San Antonio Creek Channel will be fenced with a tubular steel wrought iron view fence along both sides.

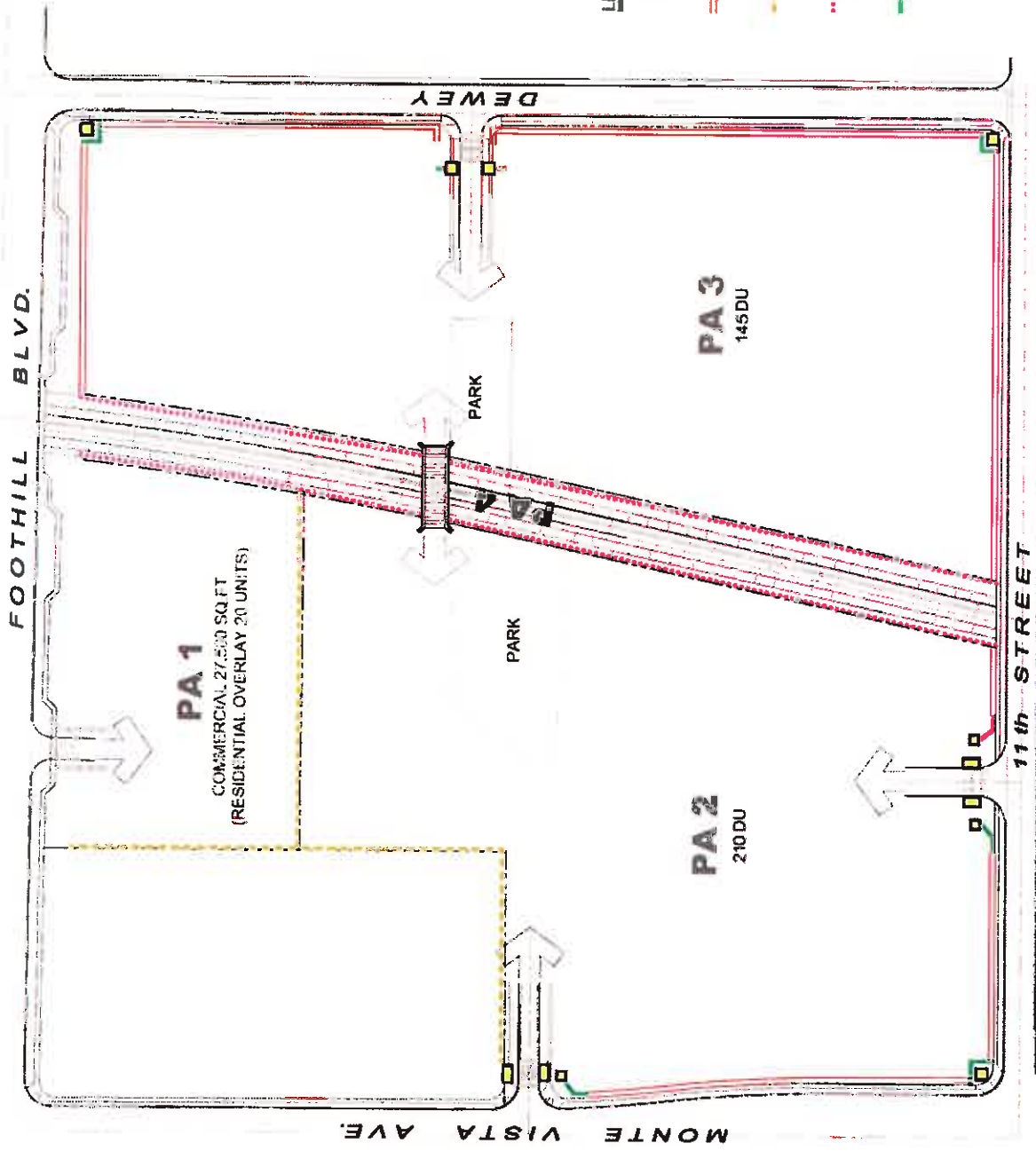
The 6-foot to 8-foot tall perimeter wall will be constructed of "Sienna Brown" splitface block and two rows of white precision block, as shown on Figure 48, Perimeter Wall and Pilaster Detail. Faux pilasters will be constructed of stucco approximately every 200 feet.

Within Planning Area 2, wrought iron, vinyl, or masonry walls shall be allowed.

a. Wall and Fence Guidelines

The following guidelines shall be used for all walls and fences located within the Upland Crossing Specific Plan:

1. A wall or fence not exceeding 6 feet in height may be erected and maintained on any part of Planning Areas 1-3;
2. Appropriate materials include stone, stone veneer, split face/precision block, concrete, stucco pilasters, wrought iron, and wood;
3. Solid walls longer than 100' in length and visible from public roadways shall incorporate design elements to reduce monotony;
4. The placement of a wall shall minimize the visual impact of the wall and maximizes its effectiveness as mitigation for noise and privacy;
5. Wall materials and patterns shall be compatible with adjacent building materials;



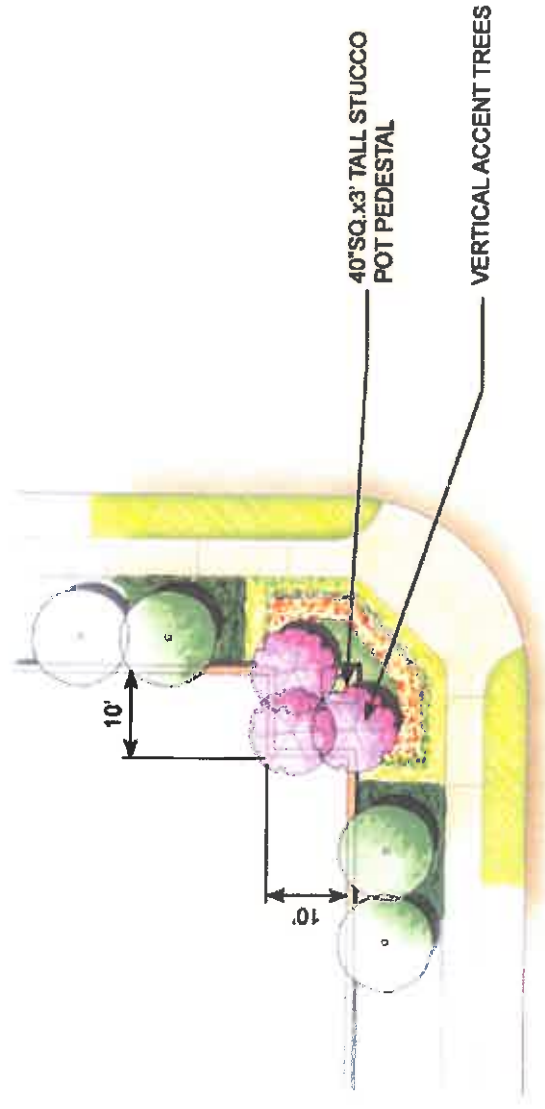
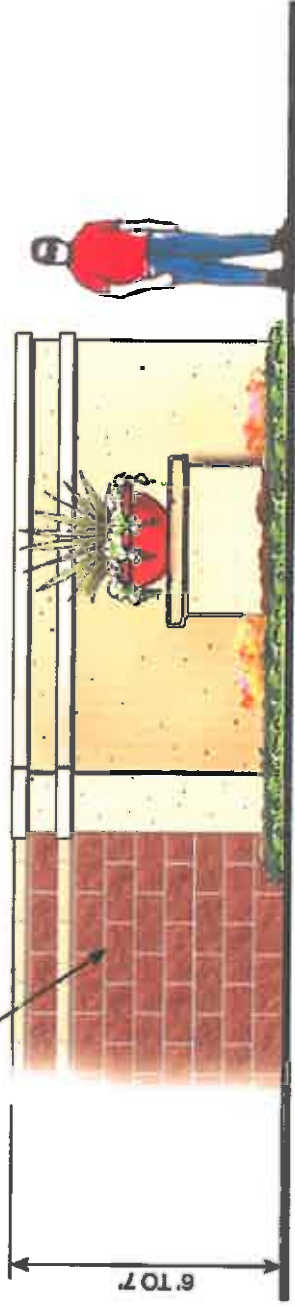
- LEGEND
- STUCCO MONUMENT PILASTER
 - PERIMETER BLOCK WALL W/ PLASTER @ 200 O.C.
 - - - 6' PRECISION BLOCK WALL
 - TUBULAR STEEL W.L. VIEW FENCE
 - DECORATIVE STUCCO WALL

Source: SITESCAPES

Upland Crossing Specific Plan
Upland, CA

Figure 46
Wall and Fence Plan

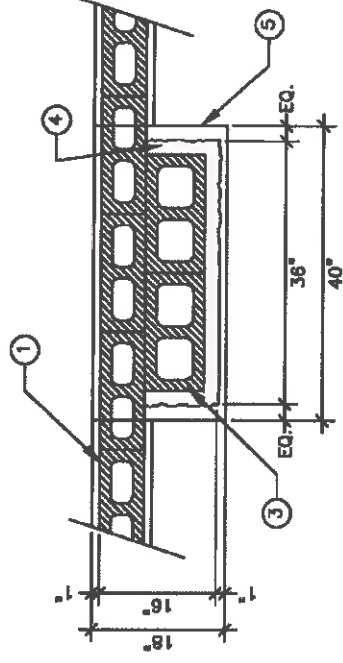
6x8x16 SPLITFACE BLOCK
COLOR "SIENNA BROWN" BY
ANGELUS BLOCK
(714) 637-8594



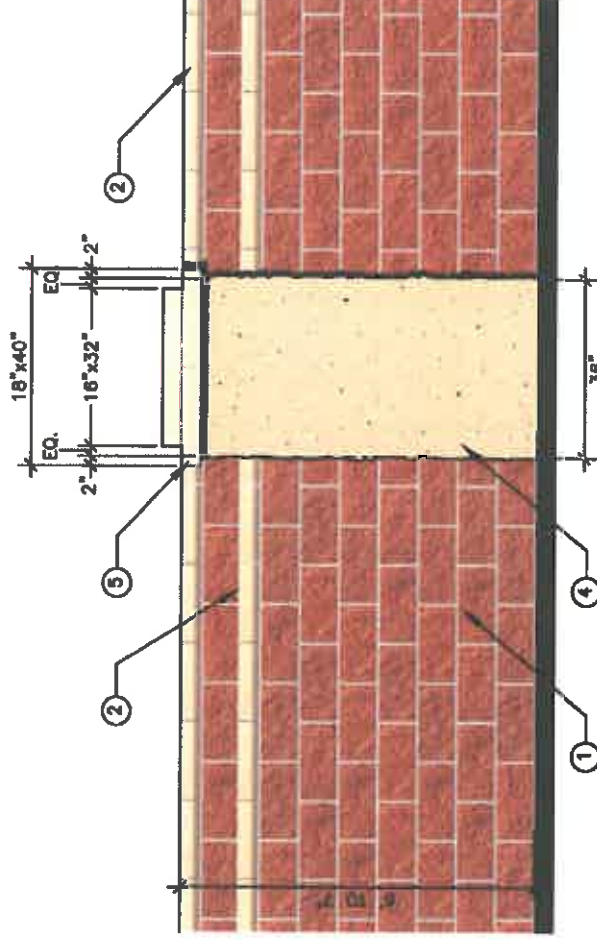
Source: SITESCAPES

Upland Crossing Specific Plan
Upland, CA

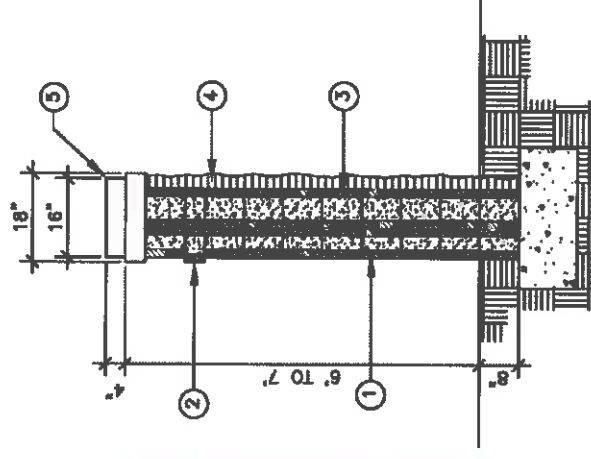
Figure 47
Corner Treatment



PILASTER PLAN VIEW ENLARGEMENT



PILASTER ELEVATION



PILASTER SECTION

- ① 6x8x16 SPLITFACE BLOCK
COLOR "SIENNA BROWN" by
ANGELUS BLOCK
(714) 637-8594
- ② (2) ROWS 8x4x16 PRECISION BLOCK
COLOR "WHITE" (TOP BLOCK TO BE
SOLID)
- ③ 8x8x16 (W/ 8x4x18 WHERE REQUIRED)
PRECISION BLOCK STACKED TO FORM
FAUX PILASTER. LOCATE PILASTER @
±200' O.C.
- ④ DECORATIVE STUCCO FINISH
- ⑤ PRECAST CONCRETE CAP

Source: Sifescapes

Upland Crossing Specific Plan
Upland, CA

Figure 48
Perimeter Wall and Pilaster Detail



NOT TO SCALE



6. Walls shall be treated as extensions of structures and use materials and colors complementary to the overall architectural design; and
7. The softening of wall surfaces visible from public rights-of-way with plantings is required.

SPECIAL HARDSCAPE TREATMENT

Hardscape design elements shall be incorporated into the overall design scheme for plaza, courtyard, and transitional spaces within the project in a coordinated and consistent manner. Hardscape treatments will function as a visual and physical connection between buildings and landscape materials within the project area. The special hardscape design elements shall include, but not be limited to the following:

- Diamond shaped stamped AC paving is encouraged at major entries;
- Stamped AC paving at store fronts and major vehicular entries;
- Light Fixtures (including tree up-lights);
- Bollards;
- Benches;
- Trash Receptacles; and/or
- Signage.

8. LIGHTING

The design issue of lighting includes street lighting, as well as building and landscape accent lighting, and sign illumination. The following basic principles shall be considered in the provision of lighting:

1. Street lights shall provide a safe and desirable level of illumination for both motorists and pedestrians without

intruding into residential areas;

2. Lighting fixtures shall relate to the human scale, especially in pedestrian areas;
3. Lighting and lighting fixtures shall complement the design and character of each planning area in which they are placed;
4. All lighting shall be pedestrian oriented and friendly but shall not be obtrusive or offensive;
5. All street lighting shall be decorative and conform to City standards or an approved theme lighting program, and shall be approved by the City Engineer;
6. Illuminated entries shall consider direct lighting low to the ground and be limited to only the immediate vicinity of the entry;
7. Lighting of entries shall not be distracting, create visual hot spots, or glare;
8. Lighting shall be designed to minimize light spillage onto adjacent and nearby properties; and
9. Light fixtures shall be decorative and located throughout the project, as approved by the City of Upland Planning Division.

V. IMPLEMENTATION PLAN

A. DESIGN REVIEW

The Upland Crossing Specific Plan will be processed through the City of Upland's two-part development review process: 1) the Planning Approval process, and 2) the Plan Checking process, as appropriate. The Planning Approval process involves review of plans for zoning compliance and design review (see Section 9403.600 of the City of Upland Zoning Code). Prior to the issuance of grading and building permits which may require approval by the City of Upland Planning Commission, the project also will be processed through Plan Checking, where a detailed technical review of the working drawings will occur. During this review process, the City will determine whether the drawings are in conformance with this Specific Plan, the Building Code, City Standards, and Conditions of Approval.

B. SUBSEQUENT APPLICATION PROCESS

Approval of the Upland Crossing Specific Plan indicates acceptance by the City Council of a general framework of development. Part of that framework establishes specific development standards that constitute the zoning regulations for the Upland Crossing Specific Plan. It is further anticipated that this Specific Plan will be implemented through a final subdivision map, parcel map, and tentative tract maps.

It is anticipated that certain modifications to the Specific Plan text, exhibits, and/or project may be necessary during the development of the Upland Crossing Specific Plan. Any modifications to the Specific Plan shall occur in accordance with the subsequent application process described in this section.

Modifications to the Specific Plan may occur through two separate processes. The first category, "Substantial Conformance," as defined

below, allows for minor changes to the Specific Plan without a public hearing and may be approved by the Community Development Director. All other proposed changes are considered "Formal Amendments" and are required to be reviewed for approval by the Planning Commission and the City Council. In all cases amendments must be found to be in substantial conformance with the goals and standards of the Upland Crossing Specific Plan.

Amendments may be requested at any time pursuant to Section 65453(a) of the California Government Code. If the amendment is deemed major by the Director of Community Development, it will be processed in the same manner as the original Specific Plan. Proposed amendments deemed to be minor modifications, as defined herein, will be processed administratively by the Administrative Review process.

Depending on the nature of the proposed Specific Plan Amendment, a supplemental analysis may be required, pursuant to the California Environmental Quality Act (CEQA), Section 15162.

1. SUBSTANTIAL CONFORMANCE

Upon determination by the Community Development Director for Community and Development Services, certain modifications to the Specific Plan text, graphics, and/or project design may not require a Formal Amendment (i.e., through public hearing). The following minor modifications to the Specific Plan do not require a Specific Plan Amendment and are subject to review and approval by the Community Development Director. The Community Development Director shall retain the discretion to refer any such request for modification to the Planning Commission.

Planning Commission approval is required for the following changes:

- Expansions or reductions of the net acreage covered by a given Planning Area within the Specific Plan by no more than 10% of that stated within this Specific Plan;
- Relocation of the recreation areas in Planning Areas 2 and 3 to another area of the project site so as long as the size and amenities are consistent with this Specific Plan; and
- Modifications to Architectural Design Guidelines that include the addition of new styles.

The following changes will be subject to the review and approval by the Administrative Committee:

- Realignment or modifications of streets serving the project, lot lines, easement locations, and grading adjustments; and
- Implementation of additional landscape treatments.

Design Review approval is required for the following changes:

- Landscape, wall material, wall alignment, and streetscape modifications which are consistent with the design guidelines contained in this Specific Plan;
- Modifications to Architectural Design Guidelines that include variation of materials within the particular architectural style and minor variations in colors; and
- Modifications to unit or building size that do not exceed the number of units analyzed in the Environmental Impact Report.

2. FORMAL AMENDMENTS

All Specific Plan modifications which do not meet the criteria of a Substantial Conformance as defined in this section shall be deemed to require a Formal Amendment. This Specific Plan was prepared pursuant to California Government Code 65450, *et. seq.* Amendments to the Specific Plan shall be processed in accordance with the applicable requirements of the law, which include Section 65450, *et. seq.* of the California Government Code and with Section 9403 of the City of Upland Zoning Code.

C. CONDITIONAL USE PERMITS

For procedures to implement and approve Conditional Use Permits (CUPs) within the Upland Crossing Specific Plan boundaries, refer to Section 9403.200 of the City of Upland Zoning Code.

Proposals for amending zone boundaries or classifications of property uses within such zones as are defined by this part, or the granting of any other amendments, conditional use permits or variances as provided herein shall be set for public hearing and public notice given of the intention to consider the granting of such proposals in accordance with the procedures and conditions in the zoning code.

VI. GENERAL PLAN CONSISTENCY ANALYSIS

This Specific Plan provides a site specific, detailed description of regulations, standards, and guidelines for implementing General Plan goals and policies. To achieve this, the Specific Plan must be in conformance with and be consistent with the General Plan. The California Government Code states that a *Specific Plan shall include a statement of the relationship of the Specific Plan to the General Plan, and further, that it may not be adopted or amended unless found to be consistent with the General Plan.*

Consistency with the General Plan is achieved when the various land uses within the Specific Plan are compatible with the objectives, policies, general pattern of land uses and programs contained in the General Plan. Consistency is defined as follows: *An action, program, or project is consistent with the General Plan if, considering all its aspects, it will further the objectives and policies of the General Plan and not obstruct their attainment.* This statement from the Governor's Office of Planning and Research (OPR) describes how a Specific Plan should be consistent with the General Plan.

The Upland Crossing Specific Plan implements the goals and policies of the City of Upland's General Plan. As such, the Upland Crossing Specific Plan is consistent with the goals and policies of the General Plan (Source: City of Upland General Plan). The Upland Crossing Specific Plan serves to implement the following General Plan Goals:

1. **Land Use Element Goal 1C: Create cohesive neighborhoods with compatible land use patterns.**

Strategies:

1. *Designate appropriate areas to meet the demand for diverse types of housing, with properly related amenities and facilities.*

2. *Multi-family residential projects should, through the application of state-of-the-art site planning techniques, provide an efficient, desirable residential environment for the inhabitants of the project and enrich the visual quality of the City.*

The Upland Crossing Specific Plan implements this goal by providing two housing options in an integrated project within walking distance to on site recreation areas, open space and trails. The Specific Plan also provides complementary landscaping to create a cohesive and desirable community.

2. **Circulation Element Goal 1: To develop transportation planning, services and facilities that are coordinated with and support the Land Use Plan.**

Strategies:

1. *Any new development of property shall be required to provide adequate right-of-way width for possible future needs and to provide for traffic patterns necessary to accommodate future growth needs.*
2. *Private streets shall be permitted only where they are found to satisfy applicable City standards and where their maintenance and operation can be shown to satisfy City requirements.*

The Upland Crossing Specific Plan implements this goal by providing adequate right-of-way widths on Foothill Boulevard, Monte Vista Avenue, 11th Street extension, and the future Dewey Way to accommodate future traffic patterns within the Specific Plan area. All interior streets within the Specific Plan

area are private and will be maintained by the homeowners associations which will meet all applicable City standards.

3. **Circulation Element Goal 2:** To minimize the impact of existing and future roadways on adjacent land uses, particularly residential, and ensure compatibility between land uses and roadway facilities to the greatest extent possible.

Strategies:

1. *Direct access of new residential developments onto major arterial streets shall be discouraged.*
2. *Wherever possible, a buffer zone shall be required between residential land uses and arterial highway facilities.*
3. *All roadways shall be encouraged to be designed in a manner that will enhance the interplay of vehicular and pedestrian safety.*

The Upland Crossing Specific Plan implements this goal by providing direct access into the new neighborhood via entrances on 11th Street and Dewey Way, which will alleviate congestion on Foothill Boulevard. An approximate 64-foot landscaped area between Foothill Boulevard and the residential development will act as a buffer zone for noise and air pollutants. All project roadways will be designed for adequate landscaping to separate the pedestrian pathway from the road.

4. **Circulation Element Goal 3:** To accommodate alternative modes of transportation to the private automobile in the City, including non-motorized transportation (bicycle and pedestrian), public transportation and recreational trails.

Strategy:

1. *All new development shall be required to provide sidewalks, in accordance with the Master Plan of Streets and Highways.*

The Upland Crossing Specific Plan implements this goal by providing sidewalks on all perimeter streets and interior private streets.

5. **Circulation Element Goal 4:** To achieve a balance between parking supply and demand so that an adequate supply of parking is provided to meet the demands generated by the Land Use Element.

Strategy:

1. *All new development shall be required to provide adequate parking to meet their parking demands on-site or in consolidated parking facilities in close proximity to their site.*

The Upland Crossing Specific Plan provides two parking spaces per residential unit in the form of a garage, as shown in Table 4, Residential Development Standards.. In addition, the Specific Plan provides 0.5 guest parking spaces per residential unit which will provide adequate parking for this residential community.

6. Circulation Element Goal 5: To promote the aesthetic qualities of the street system.

Strategies:

1. *Wherever feasible, street construction and improvement projects shall be designed with a concern for street aesthetics, including street trees, landscaping and paving materials.*
2. *All new development shall be encouraged to provide landscaped parkways, appropriate pedestrian amenities and other streetscape improvements that improve the aesthetics of the roadway to both vehicular and pedestrian traffic.*

The Upland Crossing Specific Plan implements this goal by providing landscaping with appropriate scale trees, shrubs, grass, and pedestrian pathways that will be aesthetically pleasing as well as provide project identity.

7. Scenic Highways Goal 1: Goal 1: To protect and enhance the scenic attributes of Euclid Avenue, Mountain Avenue, Foothill Boulevard and Benson Avenue.

Objective:

1. *To encourage the design of road and street improvements that will enhance vehicular and pedestrian safety.*

The Upland Crossing Specific Plan implements this goal by providing landscaping on Foothill Boulevard with appropriate scale trees, shrubs, grass, and pedestrian pathways that will be aesthetically pleasing and will enhance the scenic attributes of

this road. The pedestrian pathway will be adequately setback to provide safety from vehicles passing by.

8. Hazards Goal 1: To provide a safe and healthful environment for the Upland community.

Objectives:

1. *To reduce loss of life, injuries, and damage to property caused by seismic events and seismic-related conditions.*
2. *To reduce loss of life, injuries, damage to property, and loss of natural resources caused by wildland and urban fires.*
3. *To protect life and property in the event of a natural disaster.*
4. *To prevent injury or loss of life and damage to property due to flood hazards.*

The Upland Crossing Specific Plan implements this goal by providing residential condominiums that will be built according to the design standards of the City building code. The specific plan area is not located in a high fire hazard zone. Adequate drainage flow will be implemented to prevent injury or loss of life and damage to any property on site due to flood hazards.

9. **Open Space/Conservation Goal 1: To provide a sufficient range of recreation opportunities to meet the needs of all individuals (all ages), families, and groups who reside in the City of Upland.**

Objective:

1. *To coordinate the development of parks and recreation with other elements in the community to insure the most logical location and, where possible, combine with other compatible facilities such as schools, flood control, or water conservation areas, etc.*

The Upland Crossing Specific Plan implements this goal by providing two recreation areas located in the central portion of the specific plan area, adjacent and on top of the San Antonio Creek Channel. These recreation areas will provide sufficient open space and recreation for all individuals, families and groups residing in this project area, including a swimming pool, barbeque area, and tot lot.

AIRPORT LAND USE PLAN CONSISTENCY:

10. **Noise Element Goal 1: To plan for an appropriate range of land uses within areas impacted by noise emanating from airport operations which uses would not be substantially adversely affected by such nuisances and/or disturbances.**

The Upland Crossing Specific Plan implements this goal by providing recreational uses that are less sensitive to the noise emanating from the nearby airport. In addition, 6-foot walls, or a height appropriate as recommended by the draft Noise Impact Analysis dated March 2006, will be built around the residential uses to mitigate the noise per the noise study conducted for this specific plan area. All residential development will be

acoustically insulated to reduce interior noise level to no greater than 45 dBA CNEL.

11. **Airport Height Restrictions (Obstructions) Goal 1: To ensure the safe passage of aircraft in, out and around the airport by safeguarding and preserving navigable airspace.**

The Upland Crossing Specific Plan Area is located outside the published flight pattern of nearby Cable Airport, and the building height of all proposed buildings in the specific plan area are in conformance according to the Federal Aviation Regulations Part 77 (FAR Part 77).

12. **Airport Safety Element Goal 1: To minimize the level of risk to people and property from accident involving aircraft.**

The Upland Crossing Specific Plan Area is located outside Safety Area 1 and is located in Safety Area 2- Moderate Crash Hazard. All structures in this specific plan area will not penetrate the airport imaginary surfaces as defined in Federal Aviation Regulations Part 77. All structures in this area will not reflect glare, emit electronic interference, or produce smoke so as to endanger aircraft operations.